



## REGULAR AGENDA

For the **REGULAR MEETING** of Council to be held on Monday, October 27, 2025, taking place at 7:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

### 1. CALL TO ORDER

### 2. INTRODUCTION OF LATE ITEMS

### 3. APPROVAL OF AGENDA

**Recommendation:**

THAT the Agenda for the Regular Council Meeting of October 27, 2025, be adopted as presented.

### 4. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

### 5. CONSENT AGENDA

#### a) Council minutes for approval

- i. Minutes of the Special Meeting to Close of October 14, 2025;
- ii. Minutes of the Special Meeting to Close of October 20, 2025;
- iii. Minutes of the Regular Meeting of October 14, 2025; and,

#### b) Correspondence for receipt

- iv. North Coast Regional District Re: Board Highlights October 2025.

**Recommendation:**

THAT all items on the Consent Agenda be approved or received as requested.

### 6. REPORTS

#### a) Report from the Planning Re: Temporary Use Permit 25-02 (TUP-25-02) – 735 1<sup>st</sup> Avenue West

**Recommendation:**

THAT Council approves Temporary Use Permit (TUP) #25-02.

#### b) Report from the Planning Re: Temporary Use Permit 25-03 (TUP-25-03) – Unaddressed Parcels Bellis Rd

**Recommendation:**

THAT Council approves Temporary Use Permit (TUP) #25-03.

**c) Report from the Planning Re: Development Variance Permit 25-07 (DVP-25-07) 121 9<sup>th</sup> Avenue East**

**Recommendation:**

THAT Council approves Development Variance Permit (DVP) 25-07.

**d) Report from the Planning Re: Official Community Plan Amendment Application Bylaw No. 3667, 2025 & Zoning Bylaw Amendment Application Bylaw No. 3668, 2025**

**Recommendation:**

THAT Council consider the Official Community Plan Amendment Application Bylaw No. 3667, 2025 & Zoning Bylaw Amendment Application Bylaw No. 3668, 2025.

**e) Report from the Chief Administrative Officer and Chief Financial Officer Re: 2026 Budget.**

\*To be provided\*

**7. BYLAWS**

**a) City of Prince Rupert Official Community Plan Bylaw Amendment Bylaw No. 3667, 2025**

**Recommendation:**

THAT Council give First and Second Readings to the City of Prince Rupert Official Community Plan Amendment Bylaw No. 3667, 2025;

AND THAT Council consider City of Prince Rupert Official Community Plan Amendment Bylaw No. 3667, 2025 in conjunction with its financial plan and any liquid waste management plans in effect;

AND THAT Council proceed to the Public Hearing.

**b) City of Prince Rupert Zoning Bylaw Amendment Application Bylaw No. 3668, 2025**

**Recommendation:**

THAT Council give First and Second Readings to the City of Prince Rupert's Zoning Bylaw Amendment No. 3668, 2025;

AND THAT Council proceed to the Public Hearing.

**8. COUNCIL ROUND TABLE**

**9. ADJOURNMENT**



## SPECIAL MINUTES

For the **SPECIAL MEETING** of Council, held on October 14, 2025, at 5:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

**PRESENT:** Mayor H. Pond  
Councillor B. Cunningham  
Councillor G. Randhawa  
Councillor T. Forster (Remote)  
Councillor N. Adey  
Councillor R. Skelton-Morven (Remote)  
Councillor W. Niesh

**STAFF:** R. Pucci, Chief Administrative Officer  
R. Miller, Deputy Chief Administrative Officer

### 1. CALL TO ORDER

The Mayor called the Special Meeting of Council to order at 5:00 pm.

### 2. RESOLUTION TO EXCLUDE THE PUBLIC

MOVED by Councillor Adey and seconded by Councillor Randhawa THAT the meeting be closed to the public under Section 90 of the Community Charter to consider items relating to one or more of the following:

- 90.1 (j) information that is prohibited, or information that if it were presented in a document would be prohibited, from disclosure under section 21 of the *Freedom of Information and Protection of Privacy Act*.

CARRIED

**3. ADJOURNMENT**

MOVED by Councillor Adey seconded by Councillor Randhawa THAT the Meeting be adjourned at 5:00 pm.

CARRIED

Confirmed:

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MAYOR

Certified Correct:

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CORPORATE OFFICER



## **SPECIAL MINUTES**

For the **SPECIAL MEETING** of Council, held on October 20, 2025, at 4:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

**PRESENT:** Mayor H. Pond  
Councillor B. Cunningham  
Councillor G. Randhawa  
Councillor T. Forster (Remote)  
Councillor N. Adey  
Councillor R. Skelton-Morven  
Councillor W. Niesh

**STAFF:** R. Pucci, Chief Administrative Officer  
R. Miller, Deputy Chief Administrative Officer  
C. Bomben, Chief Financial Officer

### **1. CALL TO ORDER**

The Mayor called the Special Meeting of Council to order at 4:00 pm.

### **2. RESOLUTION TO EXCLUDE THE PUBLIC**

MOVED by Councillor Skelton-Morven and seconded by Councillor Niesh  
THAT the meeting be closed to the public under Section 90 of the Community Charter to consider items relating to one or more of the following:

90.1 (g) litigation or potential litigation affecting the municipality.

CARRIED

**3. ADJOURNMENT**

MOVED by Councillor Niesh seconded by Councillor Skelton-Morven THAT the Meeting be adjourned at 4:00 pm.

CARRIED

Confirmed:

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MAYOR

Certified Correct:

\_\_\_\_\_  
CORPORATE OFFICER



## MINUTES

For the **REGULAR MEETING** of Council, held on Tuesday, October 14, 2025, 7:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

**PRESENT:** Mayor H. Pond  
Councillor B. Cunningham  
Councillor G. Randhawa  
Councillor T. Forster (Remote)  
Councillor N. Adey  
Councillor R. Skelton-Morven (Remote)  
Councillor W. Niesh

**STAFF:** R. Pucci, Chief Administrative Officer  
R. Miller, Deputy Chief Administrative Officer  
C. Bomben, Chief Financial Officer  
M. Pope, Director of Development Services & Planning  
J. Schmidt, Director of Operations  
R. Paras, Planner

### 1. CALL TO ORDER

The Mayor called the regular meeting to order at 7:00 pm.

### 2. INTRODUCTION OF LATE ITEMS

### 3. APPROVAL OF AGENDA

MOVED by Councillor Randhawa and seconded by Councillor Adey THAT the Agenda for the Regular Council Meeting of October 14, 2025, be adopted as presented.

CARRIED

### 4. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

### 5. CONSENT AGENDA

#### a) Council minutes for approval

- i. Minutes of the Special Meeting to Close of September 8, 2025;
- ii. Minutes of the Regular Meeting of September 8, 2025;

#### b) Reports for receipt

- iii. Report from the Fire Chief Re: Monthly Fire / Rescue Report – September 2025;
- iv. Report from the Chief Financial Officer Re: July 2025 Financial Variance Report;

- v. Report from the Planning Re: Development Activity Report – September 2025;

**c) Correspondence for receipt**

- vi. North Coast Regional District Re: Board Highlights September 2025;
- vii. Letter on behalf of Hope Air, providing an update on their work in delivering equitable access to health care for people in our community;
- viii. Response to Council Inquiries;

**d) Correspondence for approval**

- ix. Request for Proclamation for Foster Family Month 2025; and
- x. Petition to the Prime Minister for Regionally Tailored Immigration Solutions to Address Critical Labour Shortages in Prince Rupert, Terrace, and Kitimat Caused by Recent Federal Policy Changes.

MOVED by Councillor Niesh and seconded by Councillor Cunningham THAT all items on the Consent Agenda be approved or received as requested.

CARRIED

**6. REPORTS**

**a) Report from the Chief Financial Officer Re: Authorization to Borrow for Fire Truck Purchase**

MOVED by Councillor Niesh and seconded by Councillor Randhawa WHEREAS under Section 175 of the Community Charter a council may incur a liability; and,

WHEREAS Council adopted the 2025 Five Year Financial Plan Bylaw 3554, 2025 on 28<sup>TH</sup> April, 2025,

THEREFORE BE IT RESOLVED THAT Council, gives authorization to borrow from the Municipal Finance Authority (MFA) \$1,417,521.41 (One million, four hundred seventeen thousand, five hundred twenty-one dollars and forty-one cents) for the purchase of a new fire truck (PIERCE ENFORCER).

CARRIED

**b) Report from the Chief Financial Officer Re: Rupert Property Management Ltd. Revitalization Tax Exemption Application**

MOVED by Councillor Adey and seconded by Councillor Cunningham THAT Council approves the receipt of the revitalization tax exemption application from Rupert Property Management Ltd.

CARRIED

**c) Report from the Director of Operations Re: 3<sup>rd</sup> & 4<sup>th</sup> Avenue Walkway Award & Budget Amendment**

MOVED by Councillor Niesh and seconded by Councillor Cunningham THAT Council Award RFP 25-0033 for the replacement of the 3<sup>rd</sup> & 4<sup>th</sup> Avenue Walkway to Broadwater Industries, AND THAT the 2025 Five Year Financial Plan be amended accordingly.

CARRIED

**d) Report from the Director of Operations Re: RFP 25-0029 – Big Project – Phase 2 Design Consultant Services**

MOVED by Councillor Niesh and seconded by Councillor Cunningham THAT Council Award RFP 25-0029 for the Big Infrastructure Gap (BIG) Project – Phase 2 Design Consultant Services to WSP Canada Inc.

CARRIED

**e) Report from the Planning Re: Development Variance Permit 25-07 (DVP-25-07) 121 9<sup>th</sup> Avenue East**

MOVED by Councillor Niesh and seconded by Councillor Adey THAT Council proceeded with the statutory notification process for Development Variance Permit (DVP) 25-07.

CARRIED

**f) Report from the Planning Re: Temporary Use Permit 25-02 (TUP-25-02) – 731 1<sup>st</sup> Avenue West**

MOVED by Councillor Randhawa and seconded by Councillor Adey THAT Council proceeded with the statutory notification process for Temporary Use Permit (TUP) #25-02.

CARRIED

**g) Report from the Planning Re: Temporary Use Permit 25-03 (TUP-25-03) – Unaddressed Parcels Bellis Rd**

MOVED by Councillor Cunningham and seconded by Councillor Niesh THAT Council proceeds with the statutory notification process for Temporary Use Permit (TUP) #25-03.

CARRIED

## **7. BYLAWS**

**a) City of Prince Rupert Permissive Property Tax Exemption Bylaw No. 3665, 2025**

MOVED by Councillor Niesh and seconded by Councillor Cunningham THAT Council give Fourth & Final Reading to the City of Prince Rupert Permissive

Property Tax Exemption Bylaw No. 3665, 2025.

CARRIED

**8. COUNCIL ROUND TABLE**

**9. ADJOURNMENT**

MOVED by Councillor Cunningham and seconded by Councillor Niesh THAT the meeting be adjourned to closed at 7:19 pm.

Confirmed:

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MAYOR

Certified Correct:

\_\_\_\_\_  
CORPORATE OFFICER

## **Board Highlights**

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October 2025

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### **Delegations:**

Kathleen Palm presented to the Board a graphic detailing the available means of transportation into and out of Prince Rupert with each mode of transportation's departure times and contact for booking travel. The Board then resolved to have Staff investigate current advocacy work to improve coordination of public transportation on Highway 16.

### **Board Business:**

1. The Board resolved to send a letter of support regarding the growing concern from Regional Districts on the lack of inclusion of mattresses and foundations being included in recycling regulation.
2. The Board resolved to send a letter of support to the Emergency Coordination Center regarding the Prince Rupert Ground Search and Rescue's capability to respond to Swiftwater and ice rescue under the Emergency Coordination Center.
3. The Board Approved two 2025 Business Façade Improvement Applications: Naikoon Pet Services in the amount of \$3,100, and Seas the Day Family Café and Country Store in the amount of \$2,750.
4. The Board Committed to offering the Business Façade Improvement Program in 2026.
5. The Board allocated Community Works Funding to support the closure of Phase 5 and the costs associated with closure activity at the Islands Solid Waste landfill in the amount of \$56,510.000
6. The Board resolved to send follow-up letters to the provincial cabinet Ministers that met with the North Coast Regional District at the 2025 UBCM Convention to continue the conversation on key regional priorities and concerns.
7. The Board adopted Bylaw 706, 2025 Electoral Area D Cemetery Service Establishment.

***For complete details of NCRD Board meetings, the Agenda and Minutes are posted online at [www.ncrdbc.com](http://www.ncrdbc.com).***



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** October 27<sup>th</sup>, 2025  
**TO:** Richard Pucci, Chief Administrative Officer  
**FROM:** Rodolfo Paras, Urban Planner

**SUBJECT: TEMPORARY USE PERMIT 25-02 (TUP-25-02) – 735 1<sup>st</sup> AVENUE W.**

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#### **RECOMMENDATION:**

**THAT Council** approves Temporary Use Permit (TUP) #25-02.

#### **REASON FOR REPORT:**

An application was received for a Temporary Use Permit for 735 1<sup>st</sup> Avenue West

The application involves:

1. A request for a temporary use to allow for Non-Accessory Parking in the property.

#### **BACKGROUND:**

The City has received a request for a Temporary Use Permit for the subject property on 735 1<sup>st</sup> Avenue W. This TUP will allow for the development of a ground-level paid parking lot.

#### **LINK TO STRATEGIC PLAN:**

This request aligns with City Council's Strategic Plan Goal D, which is to encourage, support, and undertake community renewal to position Prince Rupert as a world-class port city. As outlined in the letter of intent, the applicants propose to provide a 'much-needed service' in the downtown by introducing off-street paid parking as an option to better support local businesses. While off-street parking as a primary use is generally discouraged in the City core, community feedback received to date reflects a perception of insufficient parking in the downtown. Allowing this temporary use would enable a private enterprise to help address that perception.

#### **ANALYSIS:**

#### **LINKS TO COUNCIL PLANS AND POLICY DIRECTION:**

[Transportation Plan & Interim Parking Management Strategy](#)

As outlined in the Transportation Plan, parking plays a critical role in supporting residents, visitors, and businesses in meeting their daily needs. The most recent review

of downtown parking did not identify an overall shortage in parking in the City Core; however, community engagement highlighted a lack of long-term parking options for employees of downtown businesses, who currently compete with customers for on-street spaces. Addressing this gap may also generate valuable data to better understand parking demand and inform future reviews of parking supply (Strategy 4.7).

Although current data indicates that overall parking demand in Prince Rupert is being met, the Parking Strategy stresses the importance of providing additional long-term parking in high-demand areas to serve the downtown workforce. The proposed parking facility may help mitigate this issue by offering a dedicated alternative for employee parking, thereby improving the allocation of downtown parking resources.

**OTHER CONSIDERATIONS:**

The applicants will be responsible for addressing any potential negative impacts (such as safety concerns, fire hazards, or traffic) through measures deemed satisfactory by City staff. The property will also be subject to all applicable City bylaws, including noise and nuisance regulations. As a condition of the permit, the applicant must restore the land to its original condition upon completion. This proposal will need a Development Permit application prior to construction, during which processes staff will ensure that the proposal meets municipal guidelines concerning character and form.

**PUBLIC NOTICE**

Affected property owners were notified and had the opportunity to express any grievances on the application. In accordance with provincial regulations, notification letters for this application were distributed on October 20th, and a newspaper notice was published on October 23rd. No comments have been received in regards to this application up to the time of agenda publishing.

**COST:**

There are no budget impacts to this recommendation.

**CONCLUSION:**

This Temporary Use Permit application is recommended for approval.

**Report Prepared By:**

**Report Reviewed By:**

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Rodolfo Paras  
Urban Planner

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Richard Pucci,  
Chief Administrative Officer

Attachment(s):

- Attachment 1: Draft Temporary Use Permit
- Attachment 2: Letter of intent
- Attachment 3: Proposed Site Plan



<b>TEMPORARY USE PERMIT</b> FILE NO. TUP-25-02
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**PERMIT ISSUED BY:** The City of Prince Rupert (the City), a municipality incorporated under the *Local Government Act*, 424 3<sup>rd</sup> Avenue, Prince Rupert, BC, V8J 1L7

**PERMIT ISSUED TO OWNER(S):** COAST TSIMSHIAN ENTERPRISES LTD.

**APPLICANT:** COAST TSIMSHIAN ENTERPRISES LTD.

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1. This Temporary Use Permit is issued subject to compliance with all of the bylaws of the City of Prince Rupert applicable thereto, except as specifically varied or supplemented in this permit.
2. This Temporary Use Permit applies to those lands within the City of Prince Rupert that are described below and, any and all buildings, structures, and other development thereon:

**LEGAL DESCRIPTION:**

LOTS 3 THROUGH 5 BLOCK 11 SECTION 1 DISTRICT LOT 1992 RANGE 5  
COAST DISTRICT PLAN 923

**STREET ADDRESS:**

735 1<sup>ST</sup> AVE. W.

3. Pursuant to Division 8 in Part 14 of the *Local Government Act*, this permit authorizes the owner(s) and applicant the use of the property as Non-Accessory Parking in accordance with the description given in the letter of intent attached as Schedule 1, and Site Plan attached as Schedule 2, for up to three years.

**SUBJECT TO the following conditions to the satisfaction of the City:**

- a) After the term, the applicant/owner(s) will be responsible for restoring the site to its original condition and the satisfaction of the City.
- b) The applicant/owner(s) must include environmental, safety, and noise mitigation measures that comply with all applicable standards and regulations, and to the satisfaction of City Staff.
- c) It is the responsibility of the applicant/owner(s) to ensure that any required permits from other government agencies have been secured before commencing the temporary use.

4. The following plans and specifications are attached to and form part of this permit:
  - a. Schedule 1: Letter of Intent
  - b. Schedule 2: Proposed Site Plan

**ISSUED ON THIS \_\_ DAY OF \_\_\_\_\_ 2025.**

**CITY OF PRINCE RUPERT**  
**By an authorized signatory**

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Rosamaria Miller  
Deputy Chief Administrative Officer

DRAFT

Coast Tsimshian Enterprises (CTE)  
100 1<sup>st</sup> ave East

Prince Rupert, B.C.

Aug 22<sup>nd</sup>, 2025

**To Whom It May Concern,**

**Re: Letter of Intent – Proposed Parking Lot at 735 1st Avenue East, Prince Rupert, B.C.**

Coast Tsimshian Enterprises (CTE) is pleased to submit this letter of intent regarding the proposed development of a ground-level, temporary pay parking lot located at **735 1st Avenue East** in Prince Rupert.

Our long-term vision for this site is to transition it into private parking to support a future development on the adjacent property. In the interim, CTE recognizes a significant shortage of both short-term and long-term parking within the downtown core. This project will help address that need while also supporting nearby businesses, including the **Airport Shuttle** (based in the Highliner Hotel) and the **Moose Hall**, both of which would benefit from additional parking options.

A conceptual visual rendering of the proposed lot, prepared by **Stantec**, is attached for your review.

The plan for the parking lot includes measures to ensure safety, accessibility, sustainability, and convenience:

#### **Vandalism & Security**

- Engagement of a professional security company; and/or
- Installation of a secure perimeter fence and gated access.
- Installation of lamp standard(s) to ensure adequate lighting

#### **Electric Vehicle (EV) Charging**

- Installation of **two EV charging stations** to support sustainable transportation.

#### **Payment Options**

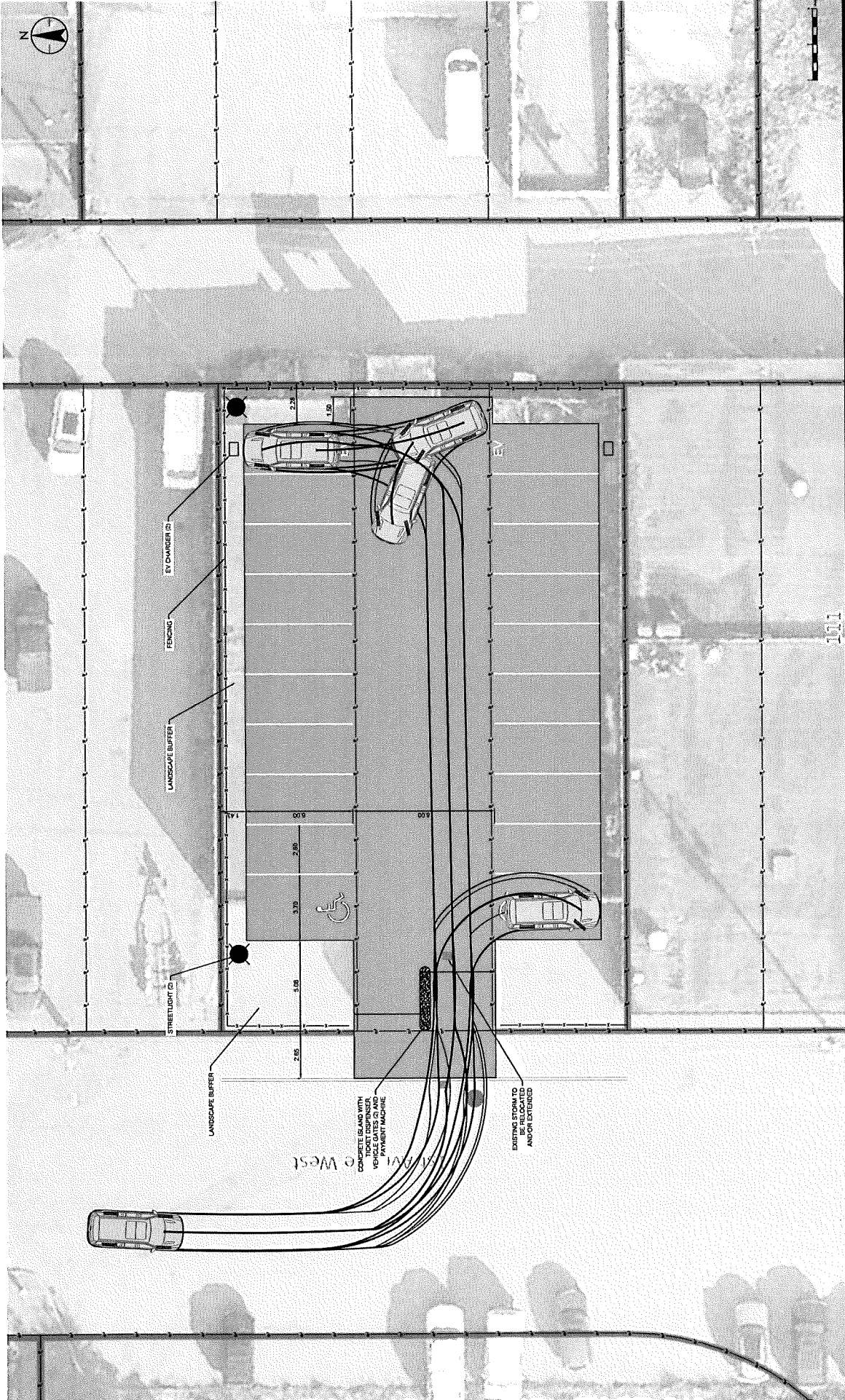
- Mobile app-based platforms
- Credit and debit card payment systems

CTE is committed to providing a well-managed, secure, and accessible parking facility that meets the needs of the community while aligning with our long-term development goals.

We appreciate your consideration of this proposal and look forward to the opportunity to discuss it further.

Sincerely,

Gerard Dolan  
Coast Tsimshian Enterprises (CTE)



COAST TSIMSHIAN ENTERPRISES | FI  
 PROPOSED PARKING LOT CONCEPT PLAN

LEGAL DESCRIPTION OF SUBJECT PROPERTY  
 LT 3.4 & 5, BLK 11, SEC. 1, DL 1992 C.D. PL. 923, PRINCE RUPERT

CONCEPTUAL PLAN. THIS DRAWING IS AN ARTISTIC REPRESENTATION OF DESIGN. CONSULTING IS REQUIRED FOR ALL ASPECTS AND SUBJECT TO CHANGE.



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** October 27<sup>th</sup>, 2025  
**TO:** Richard Pucci, Chief Administrative Officer  
**FROM:** Rodolfo Paras, Urban Planner

**SUBJECT: TEMPORARY USE PERMIT 25-03 (TUP-25-03) – Unaddressed Parcels  
Bellis Rd**

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#### **RECOMMENDATION:**

**THAT Council** approves Temporary Use Permit (TUP) #25-03.

#### **REASON FOR REPORT:**

An application was received for a Temporary Use Permit for the unaddressed parcels on the south corner of Bellis Rd. and Seal Cove Rd., shown in attachment 2.

The application involves:

1. A request for a temporary use permit to allow the use of recreational vehicles, mobile homes, or trailers for temporary accommodation of workers, and temporary structures to support building purposes

#### **BACKGROUND:**

The City has received a request for a Temporary Use Permit (TUP) for the property on Bellis Road. The TUP is intended to support the construction of an Indigenous-led, 62-unit housing development on a portion of the former Bellis Road rock quarry. This project is related to Bylaws No. 3542, OCP Amendment, and 3543, in reference to a Zoning Bylaw amendment, which were approved by City Council in 2024.

In 2022, City Council entered a Memorandum of Understanding (MOU) with KeyCorp to pursue housing development on the site. KeyCorp, in partnership with M'akola Housing Society, is advancing that plan. To date, the applicant has received Official Community Plan and Zoning Amendments (2024) and a Development Permit (2025). They are also working with City staff on parcel subdivision and the necessary Building Permits. This TUP application is one of the steps required to proceed with the proposed housing development.

## **LINK TO STRATEGIC PLAN:**

One of the goals of the Strategic Plan was for the City of Prince Rupert to "The City of Prince Rupert will support and encourage new and renewed housing working with industry, senior government and First Nations." This proposal offers the opportunity for the City of Prince Rupert to support a development being proposed by a First Nation's organization in collaboration with a private enterprise to create a development comprising one, two, three, and four-bedroom units, including accessible units.

## **ANALYSIS:**

### **COMMUNITY EQUITY AND ENVIRONMENTAL CONSIDERATIONS:**

#### Equity Considerations

As the population of Prince Rupert grows and housing solutions are explored, it is essential to employ an equity lens to understand how to address structural barriers like racism and ableism that result in an overrepresentation of Indigenous people and people with disabilities among those experiencing housing insecurity.

The proposed development that this temporary permit will facilitate will benefit several community groups that have historically been disadvantaged and need more housing options.

#### Environmental Considerations

As part of the requirements of this permit, the applicant will be responsible for restoring the site to its original condition and must include environmental, safety, and noise mitigation measures that comply with all applicable standards and regulations.

### **LINKS TO COUNCIL PLANS AND POLICY DIRECTION:**

#### Alignment with Official Community Plan

The developers were granted Official Community Plan (OCP), and Zoning Bylaw amendments by the City Council in 2024 to allow the development of the proposed residential structure. This permit will aid the construction team in their efforts to construct the proposed development aimed at creating affordable and accessible housing options in the City, at a site that benefits from being close to Seal Cove Salt Marsh Park, Rushbrook trail and other existing amenities, thus aligning with the healthy communities principles laid out in the City's OCP.

#### Link to Housing Acceleration Action Plan

One of the programs in this Action Plan is Supporting Indigenous Housing; this program aims to formalize the commitment on providing equity, capacity, and certainty to Indigenous-led housing projects. By supporting this Indigenous-led housing project, the City will ensure that Indigenous community members benefit from the City's growth.

Link to Reconciliation Policy Framework

The Reconciliation Policy Framework was adopted in 2022 by the Prince Rupert City Council with the intention of laying out actions to progress towards reconciliation within the City in a meaningful and impactful manner.

As part of the actions aimed toward relationship building, development and Housing (4.0), the City made commitments to continuing to seek opportunities to partner with neighbouring Indigenous communities on housing efforts and continue supporting Indigenous-led organizations in their advocacy efforts and funding applications.

This development being led by M'akola Housing Society, an organization committed to providing high-quality and affordable homes for Indigenous communities in British Columbia, is an opportunity for the City Council to reiterate their commitment towards reconciliation and supporting this proposal as they seek funding to create a development that could positively impact the Indigenous members of the community.

**OTHER CONSIDERATIONS:**

Although this temporary construction camp is relatively small, with only three recreational vehicles designated for housing, it may still generate neighbourhood impacts such as noise, debris, or other disturbances. The applicant will be required to implement measures to mitigate or eliminate these impacts and, as a condition of the permit, restore the land to its original condition upon completion.

**PUBLIC NOTICE**

Affected property owners were notified and had the opportunity to express any grievances on the application. In accordance with provincial regulations, notification letters for this application were distributed on October 20<sup>th</sup>, and a newspaper notice was published on October 23<sup>rd</sup>. No comments have been received in regards to this application up to the time of agenda publishing.

**COST:**

There are no budget impacts to this recommendation.

**CONCLUSION:**

This Temporary Use Permit application is recommended for approval.

**Report Prepared By:**

**Report Reviewed By:**

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Rodolfo Paras  
Urban Planner

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Richard Pucci,  
Chief Administrative Officer

Attachment(s):

- Attachment 1: Draft Temporary Use Permit
- Attachment 2: Proposed Site Plan



<b>TEMPORARY USE PERMIT</b> FILE NO. TUP-25-03
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**PERMIT ISSUED BY:** The City of Prince Rupert (the City), a municipality incorporated under the *Local Government Act*, 424 3<sup>rd</sup> Avenue, Prince Rupert, BC, V8J 1L7

**PERMIT ISSUED TO OWNER(S):** CITY OF PRINCE RUPERT

**APPLICANT:** DEREK HINRICHSEN

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1. This Temporary Use Permit is issued subject to compliance with all of the bylaws of the City of Prince Rupert applicable thereto, except as specifically varied or supplemented in this permit.
2. This Temporary Use Permit applies to those lands within the City of Prince Rupert that are described below and, any and all buildings, structures, and other development thereon:

**LEGAL DESCRIPTION:**

PORTION OF LOT 1 WATERFRONT BLOCK I DISTRICT LOT 251 RANGE 5 COAST DISTRICT PLAN 6331 EXCEPT PLAN PRP12954, AND PORTION OF LOT E DISTRICT LOT 251 RANGE 5 COAST DISTRICT PLAN 4693 EXCEPT PLANS 6331 9717 9830 12425 PRP12954 AND PRP12955.

**PARCEL IDENTIFIER (PID):**  
011174757, AND 010000828.

3. Pursuant to Division 8 in Part 14 of the *Local Government Act*, this permit authorizes the owner(s) and applicant the use of recreational vehicles, mobile homes, or trailers for temporary accommodation of workers, and temporary structures to support building purposes in accordance with the Site Plan attached as Schedule 1, for up to three years.

**SUBJECT TO the following conditions to the satisfaction of the City:**

- a) After the term, the applicant/owner(s) will be responsible for restoring the site to its original condition and the satisfaction of the City.
- b) The applicant/owner(s) must include environmental, safety, and noise mitigation measures that comply with all applicable standards and regulations, and to the satisfaction of City Staff.

- c) It is the responsibility of the applicant/owner(s) to ensure that any required permits from other government agencies have been secured before commencing the temporary use.

- 4. The following plans and specifications are attached to and form part of this permit:
  - a. Schedule 1: Proposed Site Plan

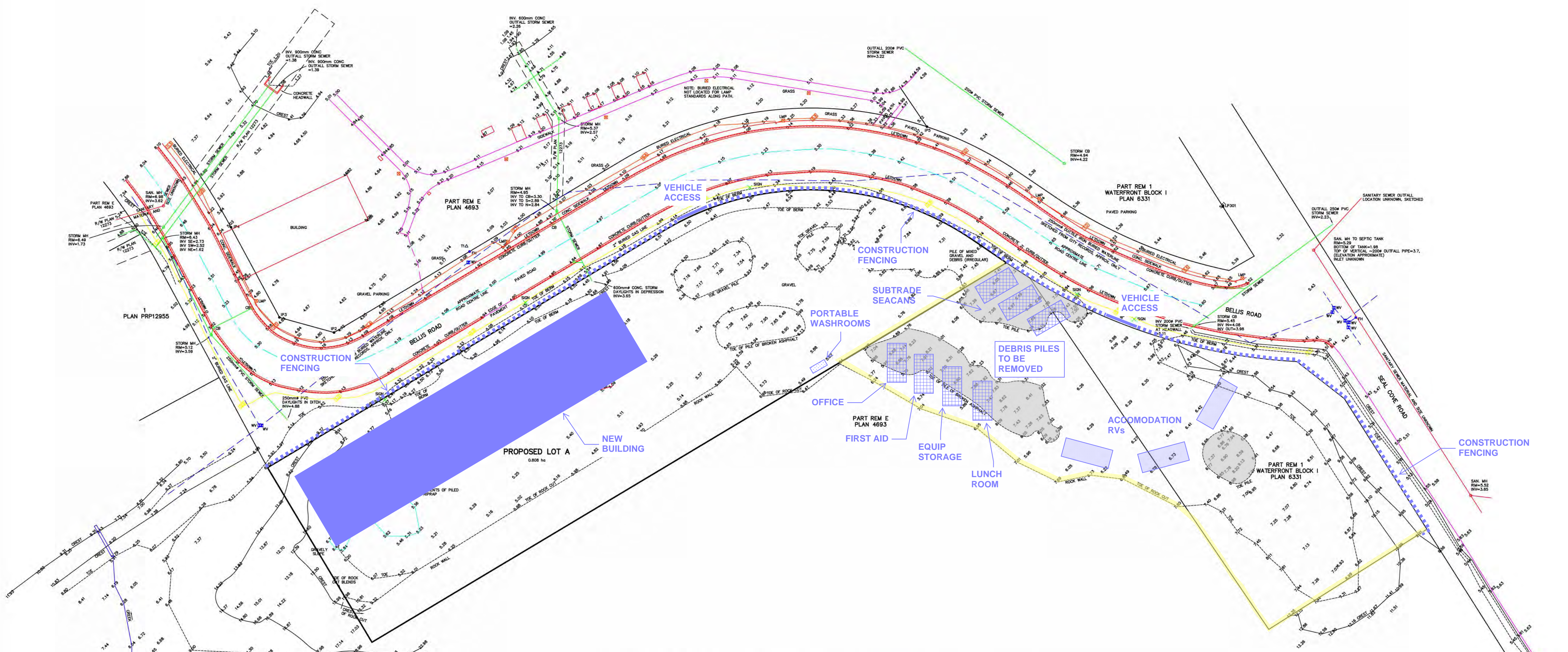
**ISSUED ON THIS \_\_\_ DAY OF \_\_\_\_\_ 2025.**

**CITY OF PRINCE RUPERT**  
**By an authorized signatory**

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Rosamaria Miller  
Deputy Chief Administrative Officer

DRAFT



**SITE PLAN OF PART OF LOT E, DISTRICT LOT 251, RANGE 5, COAST DISTRICT, PLAN 4693 EXCEPT PLANS 6331, 9717, 9830, 12425, PRP12954 AND PRP12955. (BELLIS ROAD, SEAL COVE, PRINCE RUPERT)**  
 SURVEYED MAY 1, JULY 18 2024 AND FEBRUARY 18, MAY 3 2025.  
 SCALE 1:300

THE INTENDED PLOT SIZE OF THIS DRAWING IS 1400mm WIDE, BY 864mm HIGH WHEN PLOTTED AT A SCALE OF 1:300.

**LEGEND**  
 UTM NAD83 (CSRS) ZONE 9 GRID BEARINGS ARE DERIVED FROM DUAL FREQUENCY GNSS OBSERVATIONS AND ARE REFERRED TO 129° WEST LONGITUDE, THE CENTRAL MERIDIAN OF ZONE 9.  
 THIS PLAN SHOWS GROUND LEVEL DISTANCES. TO COMPUTE GRID DISTANCES MULTIPLY GROUND DISTANCES BY THE COMBINED SCALE FACTOR OF 0.99999899.  
 ELEVATIONS ARE ORTHOMETRIC AND ARE REFERENCED TO THE VERTICAL DATUM CGVD28 (HTV2.0). BY GNSS TIES AND POINT PROCESSING USING NICTAN'S PPP SERVICE.  
 PROPERTY LINES SHOWN ARE APPROXIMATE ONLY, SUBJECT TO LEGAL SURVEY.  
 FOR POINT COORDINATE INFORMATION REFER TO FILE: 241542E.CSV (FORMAT: P#A.E.D.CODE)

- DENOTES APPROXIMATE BURIED 2" GAS LINE AND DEPTH
- DENOTES APPROXIMATE BURIED ELECTRICAL LINE AND DEPTH
- DENOTES LEGAL BOUNDARY
- DENOTES RIGHT OF WAY BOUNDARY
- DENOTES EDGE OF PAVEMENT
- DENOTES EDGE OF CONCRETE
- DENOTES GUTTER
- DENOTES TOE OF BANK
- DENOTES DITCH
- DENOTES SANITARY SEWER
- DENOTES STORM SEWER
- DENOTES WATER LINE
- IP2 DENOTES SIGN POST FOUND AND IDENTIFIER
- WV DENOTES WATER VALVE
- PH DENOTES FIRE HYDRANT, SHOT ON SPINDLE
- T1.A DENOTES SURVEY CONTROL POINT SET AND IDENTIFIER
- DENOTES SANITARY SEWER MANHOLE
- DENOTES STORM SEWER MANHOLE
- DENOTES STORM SEWER CATCH BASIN
- DENOTES QUARRY SIGN
- LMP DENOTES LAMP STANDARD

LOCAL (GROUND) CONTROL POINT COORDINATES

STATION	NORTHING	EASTING	ORTHO HT	COMBINED COORDINATE
T1	21 215 856	18 436 713	5.08	
IP2	20 994 514	18 404 328	4.78	
IP3	20 988 458	18 396 953	4.77	
IP4	21 023 488	18 379 159	4.86	
IP5	21 045 080	18 548 331	5.08	
LP301	21 025 819	18 621 891	5.12	

UTM ZONE 9 COORDINATES - GNSS CONTROL POINT NAD83(CSRS) 2002.0, ZONE 9

STATION	NORTHING	EASTING	ORTHO HT	COMBINED COORDINATE	SCALE FACTOR	ESTIMATED POSITIONAL ACCURACY (1SD)
T1	6 001 815 856	618 436 713	5.08	0.99999899	0.04	

COORDINATES ARE DERIVED USING NICTAN'S PRECISE POINT POSITIONING SERVICE.

**SURVEY**

DRAWING: 241542E.dwg  
 DATE: MAY 13, 2025  
 ALLIETH LAND SURVEYORS  
 TERRACE, B.C.  
 P: 2401942

**A0.01**



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** October 27<sup>th</sup>, 2025  
**TO:** Richard Pucci, Chief Administrative Officer  
**FROM:** Rodolfo Paras, Urban Planner

**SUBJECT: DEVELOPMENT VARIANCE PERMIT 25-07 (DVP-25-07) 121 9<sup>TH</sup> AVENUE EAST**

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#### **RECOMMENDATION:**

**THAT Council** approves Development Variance Permit (DVP) 25-07

#### **REASON FOR REPORT:**

An application was received for a Development Variance Permit for the property located at 121 9<sup>th</sup> Avenue E.

The application involves:

1. A request for a variance of the City of Prince Rupert Zoning Bylaw, Section 5.2 minimum dimensions required for yards to build an extension of the existing building. The minimum dimension for yards on the side of a building in R1 zone is 1.2 metres (3'11"). The applicant requests a variance of 1.03 metres (3'4") to accommodate the proposed building.

#### **BACKGROUND:**

The applicant is requesting a variance to the minimum side yard dimensions required in the R1 zone to allow for an extension of the entrance area of the existing building. The current structure does not meet setback requirements, it is existing non-conforming, as it encroaches into the southwest side yard. The proposed addition would align with the existing southwest wall, maintaining the same setback encroachment.

#### **ANALYSIS:**

The subject property is located on 9th Avenue East, an established neighbourhood characterized by small lot sizes and older housing stock. Many of the existing dwellings in the area do not conform to current side yard requirements.

The BC Building Code sets specific requirements for structures built near one another, and the applicants must ensure their proposal comply with those standards.

Given this context, the requested variance is not anticipated to create significant neighbourhood impacts or adversely affect adjacent property owners' views. During the statutory notification process concerned individuals had opportunity to voice their concerns for Council's consideration prior to approval.

**PUBLIC NOTICE**

Affected property owners in the vicinity of the property were notified and had the opportunity to express any grievances on the application. Notification letters with information on this application were sent following provincial regulation on October 17<sup>th</sup>. No comments have been received in regards to this application up to the time of agenda publishing.

**COST:**

The approval or denial of this Development Variance Application request will have no budgetary impact.

**CONCLUSION:**

This Development Variance Permit application is recommended for approval by the City Council.

**Report Prepared By:**

**Report Reviewed By:**

\_\_\_\_\_  
Rodolfo Paras  
Urban Planner

\_\_\_\_\_  
Richard Pucci,  
Chief Administrative Officer

Attachment(s):

- Attachment 1: Development Variance Permit
- Attachment 2: Proposed Building Drawings



**DEVELOPMENT VARIANCE PERMIT**  
FILE NO. DVP-25-07

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**PERMIT ISSUED BY:** The City of Prince Rupert (the City), a municipality incorporated under the *Local Government Act*, 424 3<sup>rd</sup> Avenue, Prince Rupert, BC, V8J 1L7

**PERMIT ISSUED TO OWNER(S):** CHRISTA REGINA LINDENBLATT

**APPLICANT:** CHRISTA REGINA LINDENBLATT

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1. This Development Variance Permit applies to those lands within the City of Prince Rupert that are described below, and any and all buildings, structures, and other development thereon:

**LEGAL DESCRIPTION:**

LOT 41 BLOCK 28 SECTION 6 DISTRICT LOT 251 RANGE 5 COAST DISTRICT  
PLAN 923

**CIVIC ADDRESS(ES):**

121 9<sup>TH</sup> AVENUE EAST

2. This permit varies the City's Zoning Bylaw (Bylaw #3462) as follows:
  - a. Section 5.2 minimum dimensions required for yards is varied from 1.2 metres to 0.17 metres, in accordance with the Building Plans attached as Schedule 1.
3. This permit is issued subject to the following conditions to the City's satisfaction:
  - a. The permittee(s) alters the existing structure in accordance with the Building Plans attached as Schedule 1.
  - b. Compliance with all of the bylaws of the City of Prince Rupert applicable thereto, except as specifically varied or supplemented.
4. If the permittee(s) does/do not substantially commence the development permitted by this permit within 24 months of the date of this permit, the permit shall lapse and be of no further force and effect.
5. This permit is **NOT** a Building Permit or Subdivision Approval.

6. This permit does not authorize works on adjacent properties. Encroachment on any adjacent property for the purposes of excavation, or the deposit or removal or fill requires the written consent of the owner of such adjacent property.
7. The terms and conditions contained in this permit shall inure to the benefit of, and be binding upon, the owner(s), their executors, heirs or administrators, successors and assignees as the case may be or their successors in title to the land.
8. The following plans and specifications are attached to and form part of this permit:
  - a. Schedule 1: Building Plans

**ISSUED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.**

**CITY OF PRINCE RUPERT**  
**By an authorized signatory**

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**Rosamaria Miller**  
Deputy Chief Administrative Officer

# PROPOSED RENOVATION IN EXISTING STRUCTURE AT 121 9 Ave E, Prince Rupert, BC V8J 2R8, Canada

## SCOPE OF WORK

**Demolition:** Remove portion of existing structure for new addition.

**Addition:** Build 7' × 10' extension with new foundation, framing, roof, insulation, and finishes.

**Integration:** Tie the new structure into the existing building, ensuring proper load transfer, weather protection, insulation, and fire separation in accordance with the BC Building Code 2024.

**Finishes:** Match exterior cladding and interior finishes to existing.

**Compliance:** All work to comply with BCBC 2024, City of Prince Rupert bylaws, and required inspections.

## VICINITY MAP



PROJECT NAME:  
121 9 Ave E, Prince Rupert, BC V8J 2R8, Canada NOT TO SCALE



## SHEET INDEX

A01	COVER SHEET/PROJECT INFORMATION
A02	EXISTING AND PROPOSED SITE PLAN
B01	EXISTING & DEMOLISH FLOOR PLAN
B02	PROPOSED MAIN FLOOR PLAN
C01	ROOF PLAN
D01	EXISTING EXTERIOR ELEVATIONS
S-01	FOUNDATION PLAN
S-02	FLOOR FRAMING PLAN
S-03	ROOF FRAMING PLAN
K-01	STRUCTURAL DETAILS
K-02	STRUCTURAL DETAILS
K-03	STRUCTURAL DETAILS



STAMP

PROJECT FOR  
PROPOSED RENOVATION AT  
121 9 Ave E, Prince Rupert,  
BC V8J 2R8, Canada

NO.	REVISION

DRAWING NO.:

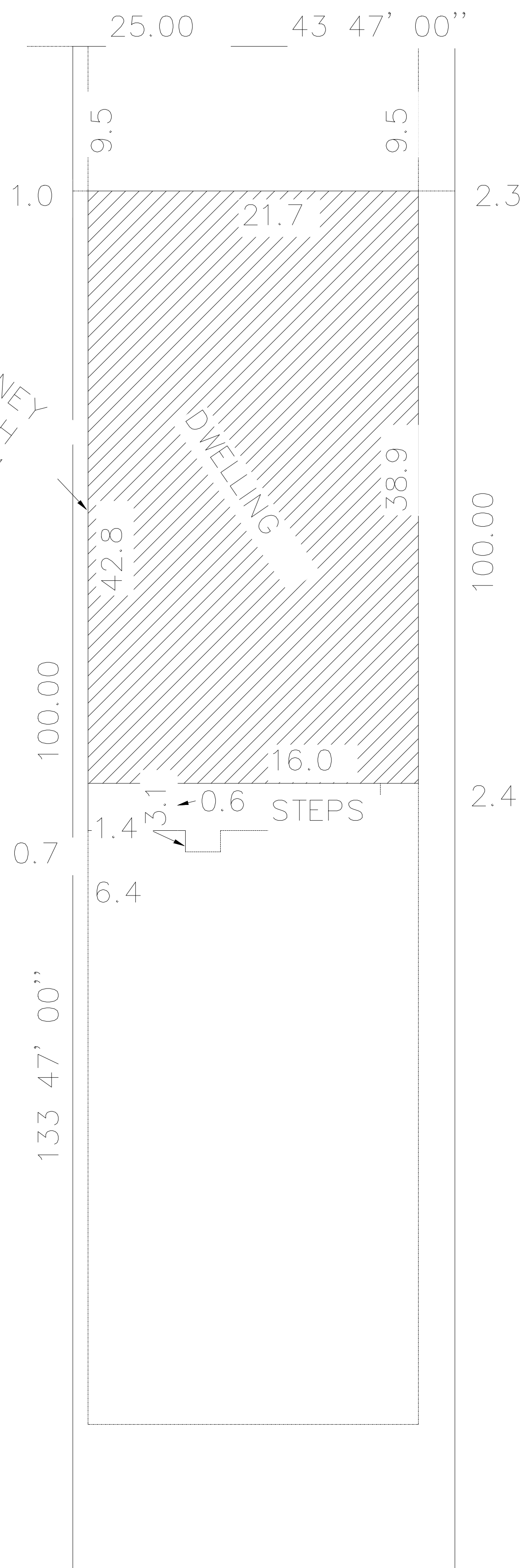
DATE:  
2025-09-12

DRAWN BY:

SHEET:

A01

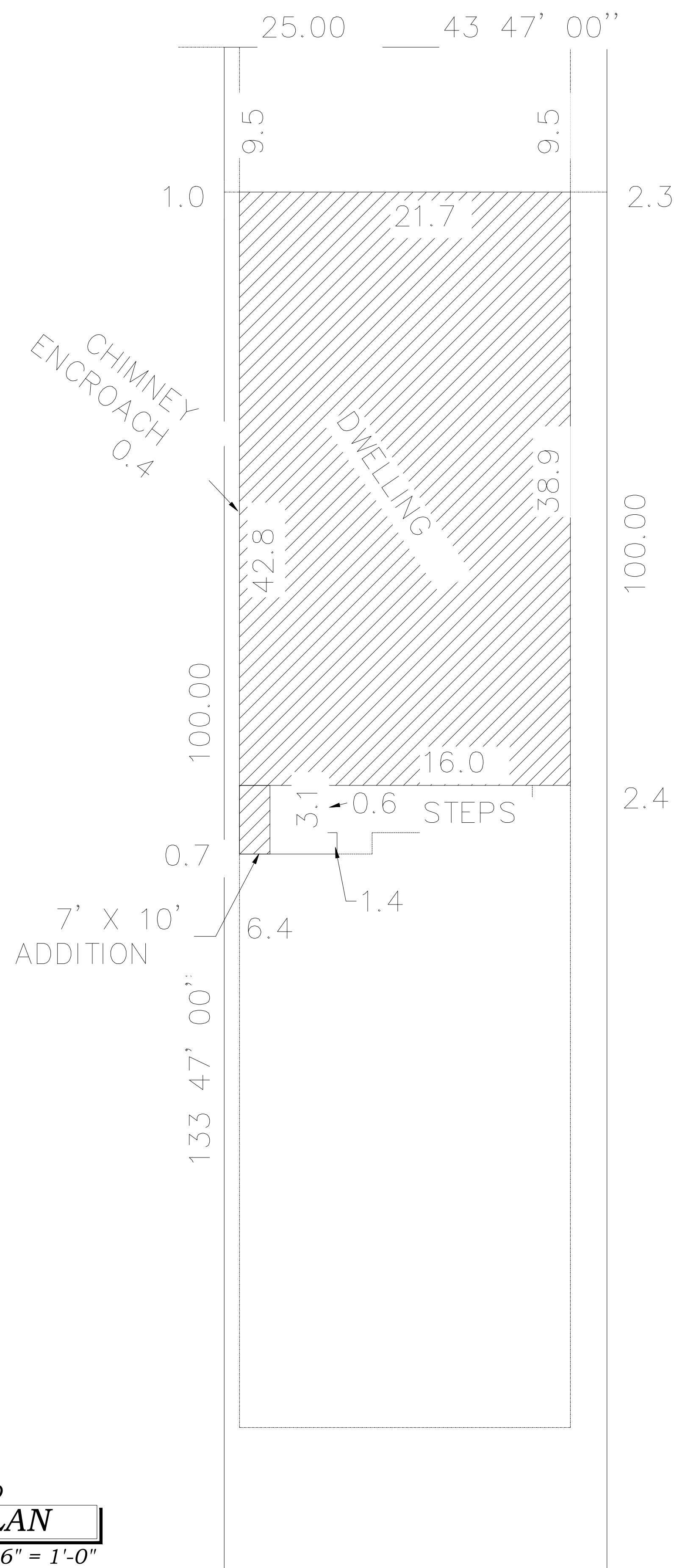
LANE



BLOCK SECTION PLAN DL

EXISTING  
**SITE PLAN**  
SCALE :3/16" = 1'-0"

LANE



PROPOSED  
**SITE PLAN**  
SCALE :3/16" = 1'-0"

STAMP

PROJECT FOR  
PROPOSED RENOVATION AT  
121 9 Ave E, Prince Rupert,  
BC V8J 2R8, Canada

NO.	REVISION

DRAWING NO.:

DATE:  
2025-09-12

DRAWN BY: **WESTCOAST**  
-JOURNEYMAN-

SHEET:

A02

**ARCHITECTURAL NOTES**

CLADDING DRAINAGE AND FLASHING: VINYL SIDING SHALL BE INSTALLED OVER A SHEATHING MEMBRANE WITH PROVISIONS FOR DRAINAGE, INCLUDING FLASHING AT OPENINGS AND TERMINATIONS, IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.27.2.1.

NATURAL AND ARTIFICIAL LIGHTING: ROOMS INTENDED FOR OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT THROUGH GLAZED OPENINGS OR WITH ARTIFICIAL LIGHTING CAPABLE OF MEETING MINIMUM ILLUMINATION REQUIREMENTS PER BCBC 2024 DIVISION B, 9.32.1.2.

EVALUATION REPORTS: PRODUCT EVALUATION REPORTS AND CONDITIONS OF LISTING SHALL BE AVAILABLE ON SITE FOR INSPECTION IN ACCORDANCE WITH BCBC 2024 DIVISION C, 2.2.7.

HEATING: HEATING SYSTEMS SHALL MAINTAIN INDOOR TEMPERATURES OF NOT LESS THAN 21°C IN OCCUPIED SPACES AT 1.0 M ABOVE THE FLOOR AND 0.6 M FROM EXTERIOR WALLS, AND 22°C IN BATHROOMS, IN COMPLIANCE WITH BCBC 2024 DIVISION B, 9.33.3.1.




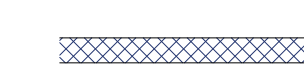
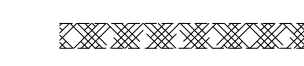

WOOD PROTECTION: WOOD OR WOOD-BASED PRODUCTS SUBJECT TO MOISTURE SHALL BE PRESERVATIVE-TREATED OR BE NATURALLY DURABLE SPECIES, PER BCBC 2024 DIVISION B, 9.23.2.3.

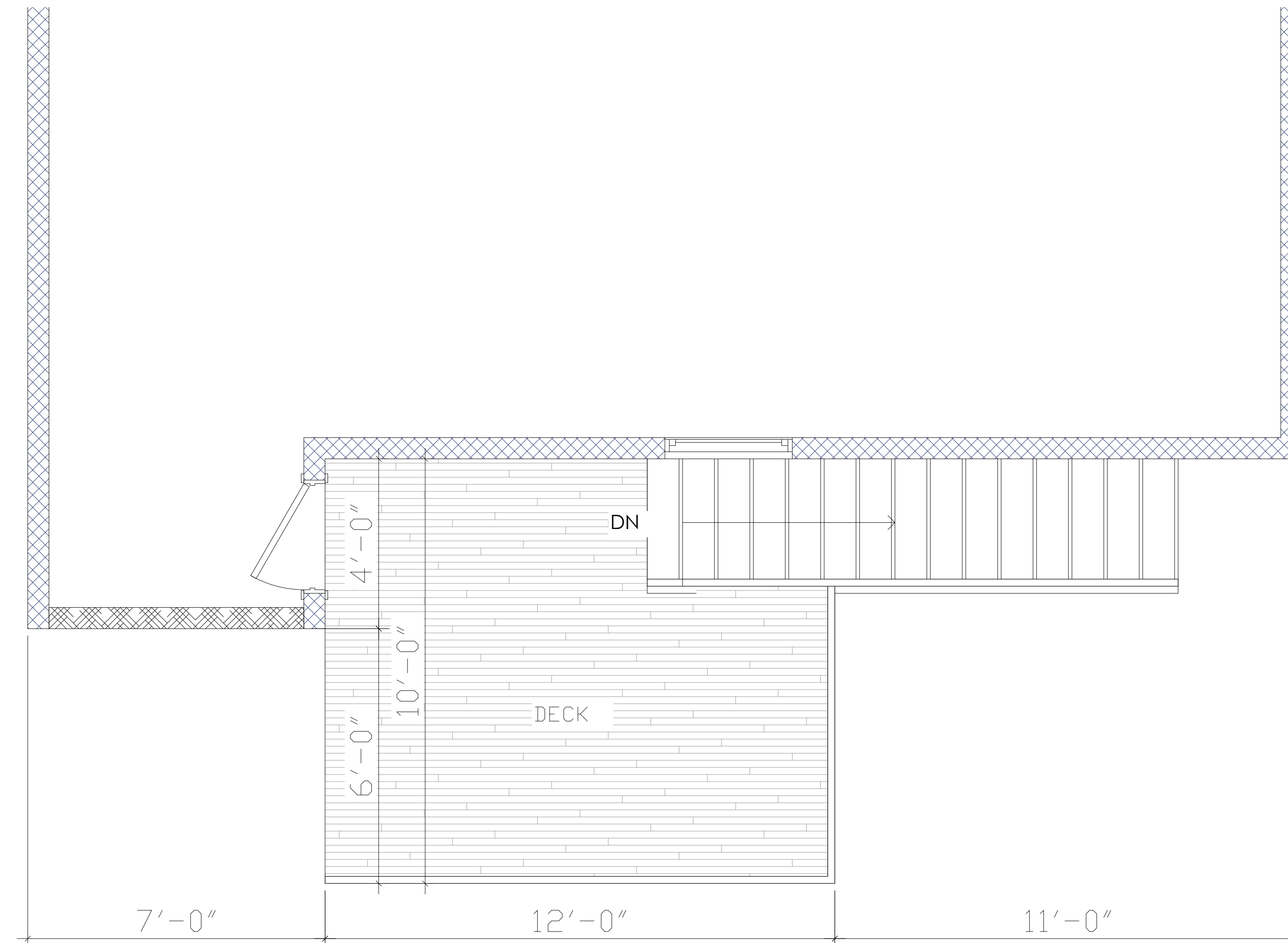
ENERGY EFFICIENCY: THE ADDITION SHALL COMPLY WITH BCBC 2024 DIVISION B, 9.36 (ENERGY EFFICIENCY), INCLUDING INSULATION, WINDOWS, AND AIR/VAPOUR BARRIER SYSTEMS.

VENTILATION: THE MUDROOM SHALL BE VENTILATED IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.32, EITHER BY OPERABLE WINDOWS OR CONNECTION TO THE HOUSE VENTILATION SYSTEM.

STAIRS AND LANDINGS (IF APPLICABLE): ANY NEW EXTERIOR STEPS OR LANDINGS SHALL CONFORM TO BCBC 2024 DIVISION B, 9.8 FOR RISE, RUN, GUARD, AND HANDRAIL REQUIREMENTS.

**WALL LEGEND**

-  NEW EXTERIOR WALL (CMU 8")
-  NEW EXTERIOR WALL (2X6)
-  NEW EXTERIOR WALL (2X4)
-  NEW INTERIOR WALL (2X4)
-  EXISTING WALL
-  DEMOLISH WALL



*EXISTING*  
**FLOOR PLAN**  
 SCALE : 1/2" = 1'-0"

STAMP

PROJECT FOR  
 PROPOSED RENOVATION AT  
 121 9 Ave E, Prince Rupert,  
 BC V8J 2R8, Canada

NO.	REVISION

DRAWING NO.:

DATE:  
 2025-09-12

DRAWN BY: 

SHEET:

**B01**

**ARCHITECTURAL NOTES**

CLADDING DRAINAGE AND FLASHING: VINYL SIDING SHALL BE INSTALLED OVER A SHEATHING MEMBRANE WITH PROVISIONS FOR DRAINAGE, INCLUDING FLASHING AT OPENINGS AND TERMINATIONS, IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.27.2.1.

NATURAL AND ARTIFICIAL LIGHTING: ROOMS INTENDED FOR OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT THROUGH GLAZED OPENINGS OR WITH ARTIFICIAL LIGHTING CAPABLE OF MEETING MINIMUM ILLUMINATION REQUIREMENTS PER BCBC 2024 DIVISION B, 9.32.1.2.

EVALUATION REPORTS: PRODUCT EVALUATION REPORTS AND CONDITIONS OF LISTING SHALL BE AVAILABLE ON SITE FOR INSPECTION IN ACCORDANCE WITH BCBC 2024 DIVISION C, 2.2.7.

HEATING: HEATING SYSTEMS SHALL MAINTAIN INDOOR TEMPERATURES OF NOT LESS THAN 21°C IN OCCUPIED SPACES AT 1.0 M ABOVE THE FLOOR AND 0.6 M FROM EXTERIOR WALLS, AND 22°C IN BATHROOMS, IN COMPLIANCE WITH BCBC 2024 DIVISION B, 9.33.3.1.





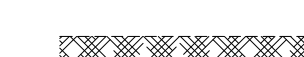

WOOD PROTECTION: WOOD OR WOOD-BASED PRODUCTS SUBJECT TO MOISTURE SHALL BE PRESERVATIVE-TREATED OR BE NATURALLY DURABLE SPECIES, PER BCBC 2024 DIVISION B, 9.23.2.3.

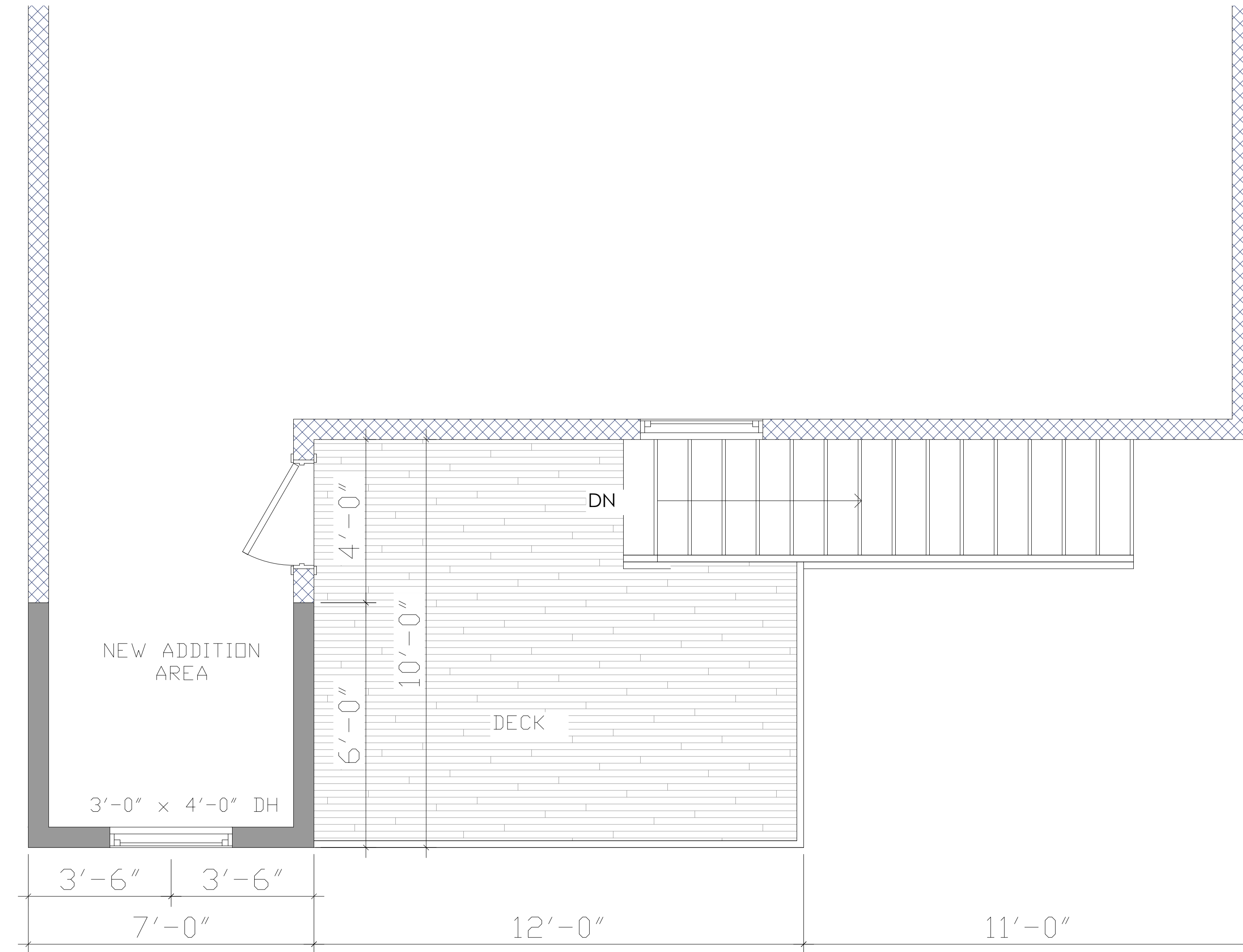
ENERGY EFFICIENCY: THE ADDITION SHALL COMPLY WITH BCBC 2024 DIVISION B, 9.36 (ENERGY EFFICIENCY), INCLUDING INSULATION, WINDOWS, AND AIR/VAPOUR BARRIER SYSTEMS.

VENTILATION: THE MUDROOM SHALL BE VENTILATED IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.32, EITHER BY OPERABLE WINDOWS OR CONNECTION TO THE HOUSE VENTILATION SYSTEM.

STAIRS AND LANDINGS (IF APPLICABLE): ANY NEW EXTERIOR STEPS OR LANDINGS SHALL CONFORM TO BCBC 2024 DIVISION B, 9.8 FOR RISE, RUN, GUARD, AND HANDRAIL REQUIREMENTS.

**WALL LEGEND**

-  NEW EXTERIOR WALL (CMU 8")
-  NEW EXTERIOR WALL (2X6)
-  NEW EXTERIOR WALL (2X4)
-  NEW INTERIOR WALL (2X4)
-  EXISTING WALL
-  DEMOLISH WALL



**PROPOSED  
FLOOR PLAN**  
SCALE : 1/2" = 1'-0"

STAMP

PROJECT FOR  
PROPOSED RENOVATION AT  
121 9 Ave E, Prince Rupert,  
BC V8J 2R8, Canada

NO.	REVISION

DRAWING NO.:

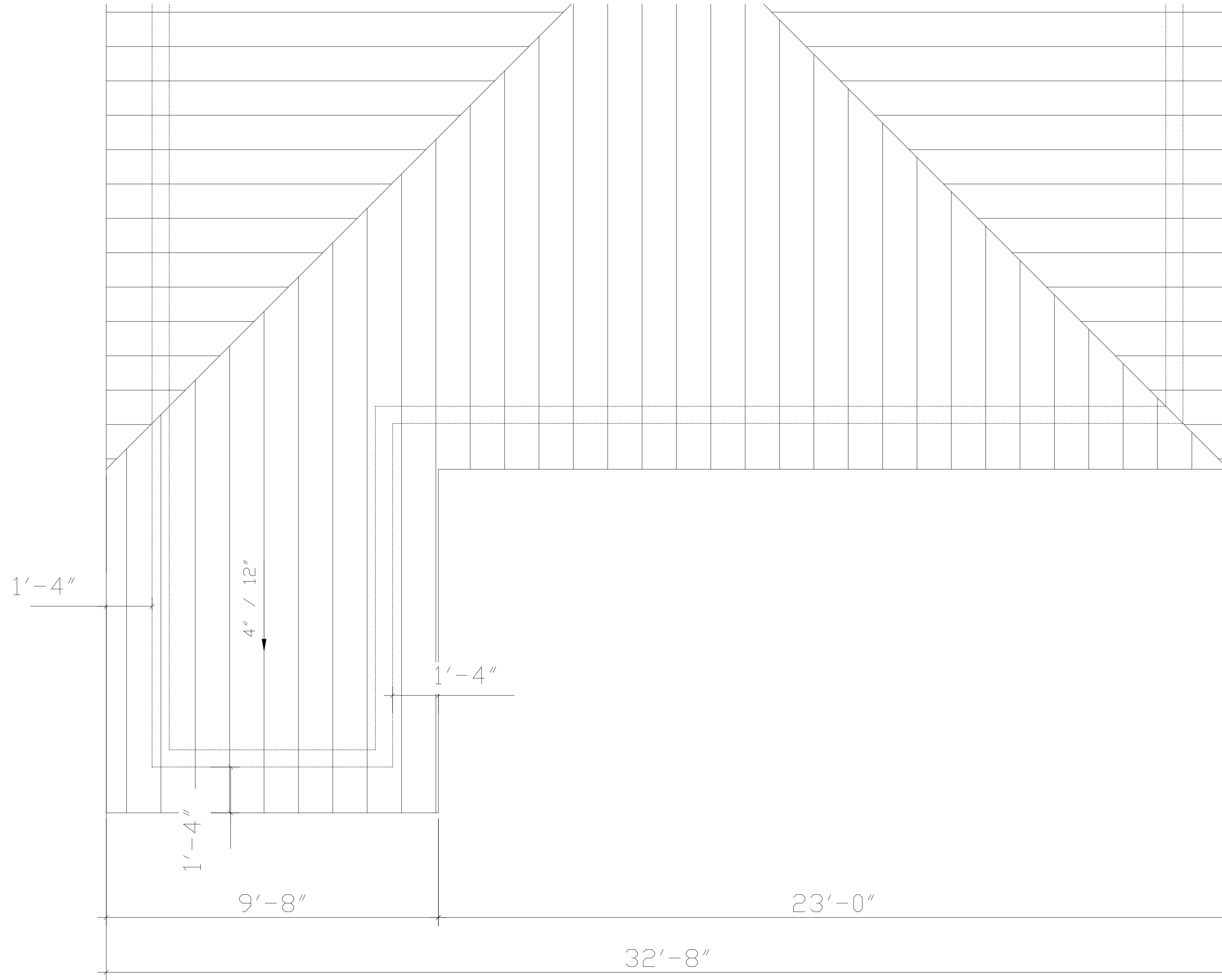
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2025-09-12

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SHEET:

**B02**

PROPOSED  
**ROOF PLAN**  
 SCALE : 1/2" = 1'-0"



STAMP

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DRAWING NO.:

DATE:  
 2025-09-12

DRAWN BY: **WESTCOAST**  
 -JOURNEYMAN-

SHEET:

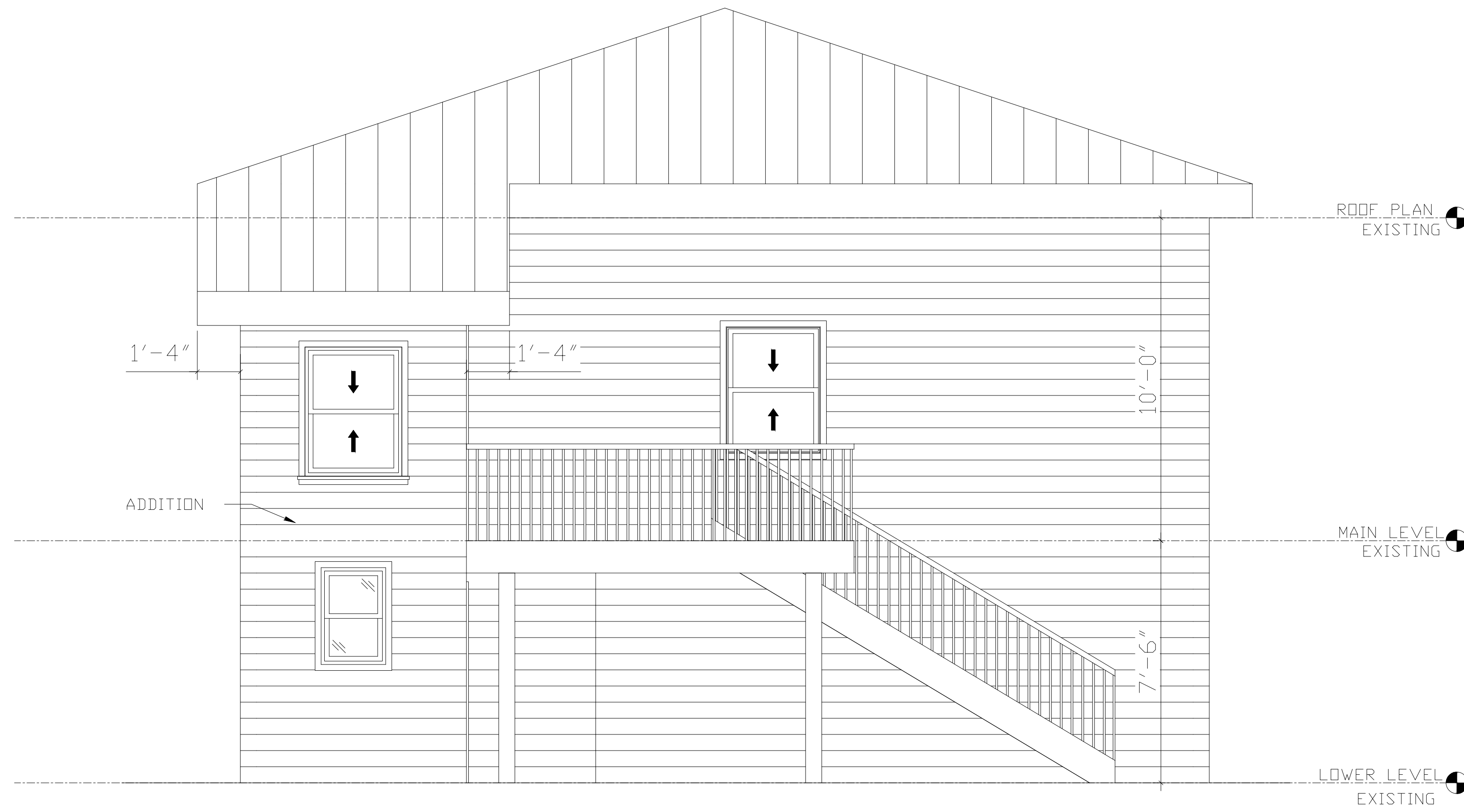
C01

Proposed design will meet the following requirements in accordance with the BC Building Code 2024 and City of Prince Rupert bylaws:

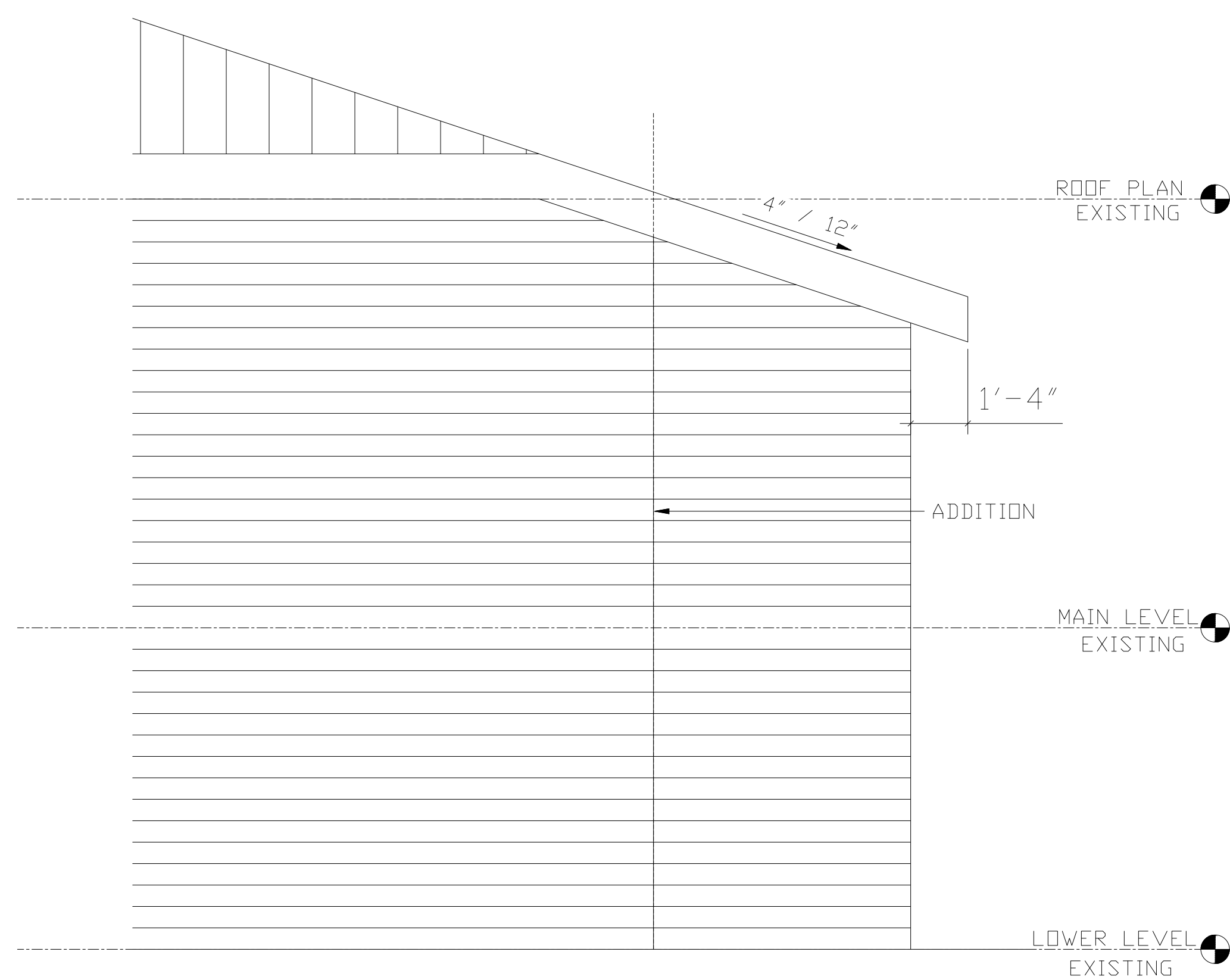
(a) The exterior materials, trim, roof, windows, and doors of the addition shall match or be compatible with the existing dwelling in colour, texture, and appearance.

(b) Roof eaves, gables, and slope of the addition shall be consistent with the existing dwelling to ensure architectural integration, as per BCBC 2024 Division B, 9.26 (roof assemblies).

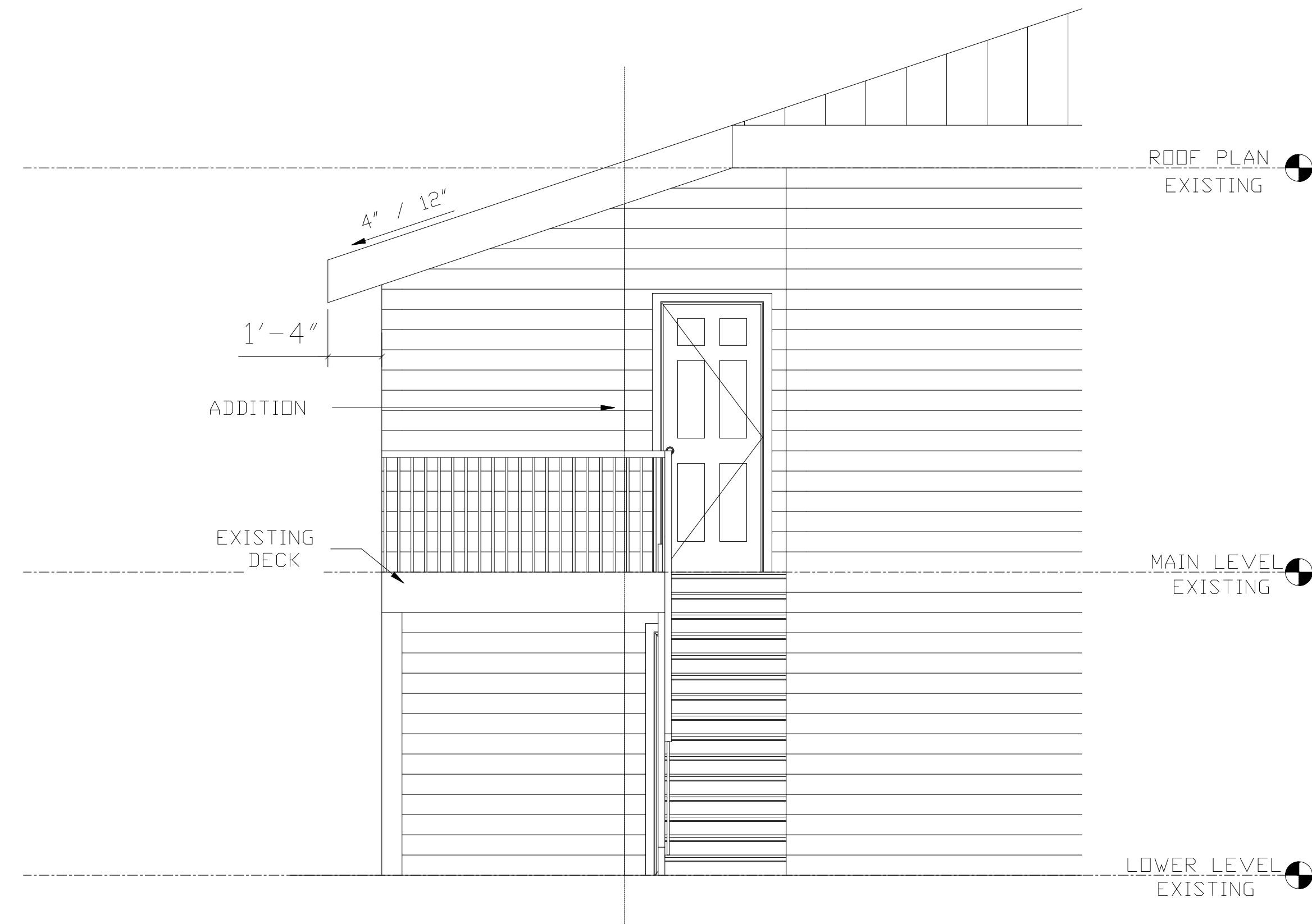
(c) Exterior lighting shall be down-lighting or otherwise installed in accordance with BCBC 2024 Part 9 and the British Columbia Fire Code.



**PROPOSED**  
**FRONT ELEVATION**  
 SCALE :3/8" = 1'-0"



**PROPOSED**  
**LEFT ELEVATION**  
 SCALE :3/8" = 1'-0"



**PROPOSED**  
**RIGHT ELEVATION**  
 SCALE :3/8" = 1'-0"

STAMP

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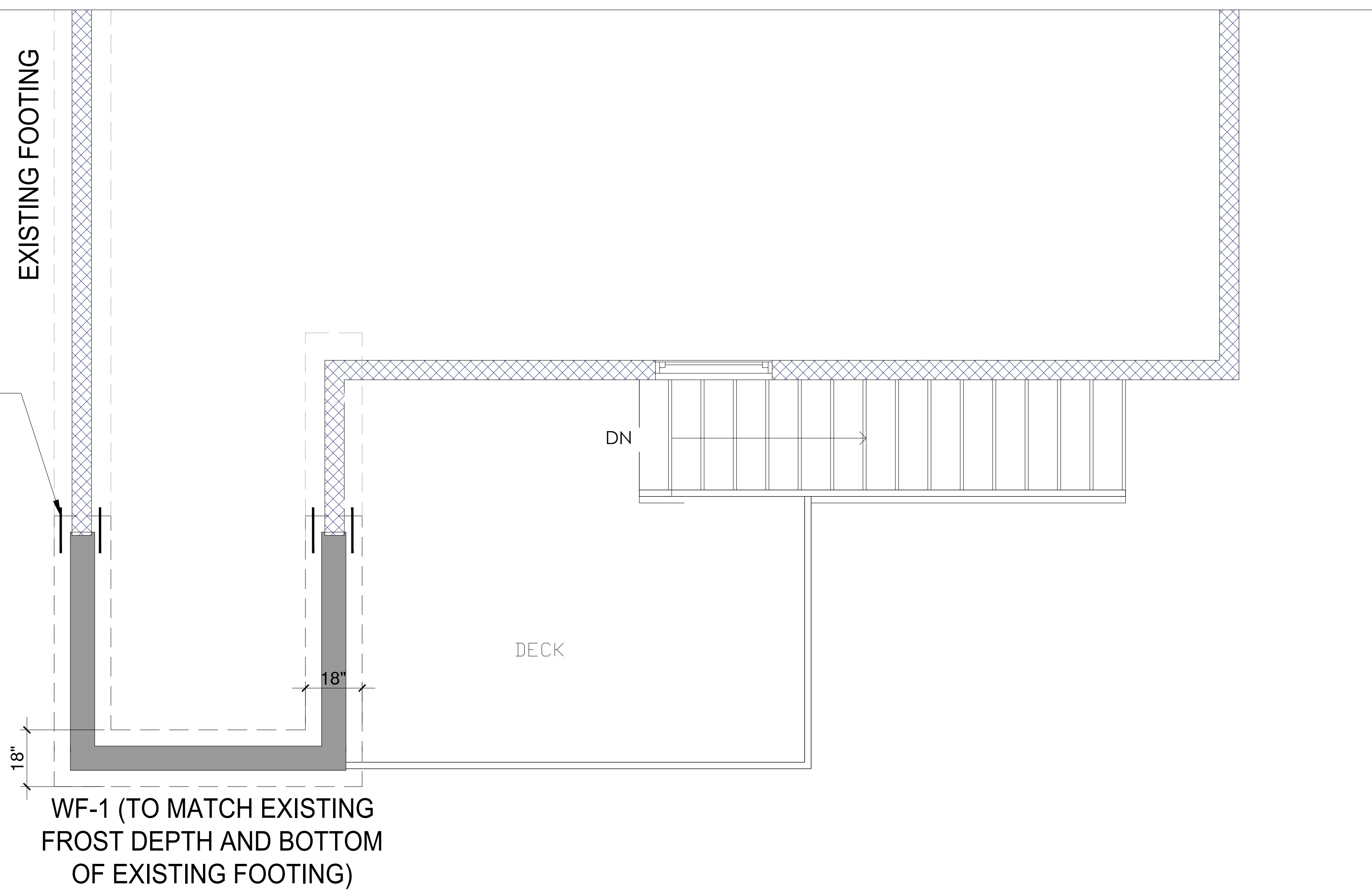
DATE:  
 2025-09-12

DRAWN BY: **WESTCOAST**  
 -JOURNEYMAN-

SHEET:

**D01**

#4 @24" O.C. VERTICAL 16" LONG W/ 4" EMBEDMENT W/HILTY HY 200 INTO EXISTING WALL FOOTING



**PROPOSED  
FOUNDATION PLAN**

SCALE : 1/2" = 1'-0"

PROTECTION OF EXISTING STRUCTURE

1. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING OR BRACING AS REQUIRED TO PROTECT THE EXISTING FOUNDATION AND FRAMING DURING EXCAVATION AND CONSTRUCTION OF THE NEW ADDITION.
2. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT DAMAGE OR SETTLEMENT TO NEW OR EXISTING CONSTRUCTION WITHIN THE PROJECT LIMITS.
3. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION RESULTING FROM THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.

FOUNDATION NOTES:-

**EXISTING SLAB:**

VERIFY THE CONDITION OF THE EXISTING SLAB-ON-GRADE AND EDGES BEFORE CONSTRUCTION. THE SLAB SHALL BE SOUND, CLEAN, AND FREE OF COATINGS, LAITANCE, OR DEBRIS PRIOR TO NEW WORK.

**JOINTS / TERMINATIONS:**

PROVIDE CONSTRUCTION JOINTS, KEYWAYS, OR DOWELS AS REQUIRED AT CORNERS AND DISCONTINUITIES. CONTROL JOINTS ARE NOT REQUIRED FOR SLAB SEGMENTS UNDER 6.0 M IN LENGTH.

**INSPECTIONS:**

REINFORCEMENT, DOWELS, AND ANCHORS SHALL BE PLACED AND INSPECTED PRIOR TO POUR. CONCRETE PLACEMENT SHALL BE CONTINUOUS AROUND THE PERIMETER CURB. ALL WORK SHALL CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2024 AND APPLICABLE CSA STANDARDS, INCLUDING CSA A23.1/A23.2 (CONCRETE MATERIALS AND METHODS) AND CSA A23.3 (DESIGN OF CONCRETE STRUCTURES).

**DEVIATIONS:**

FIELD CHANGES OR CONDITIONS NOT SHOWN SHALL BE COORDINATED ON SITE AND APPROVED PRIOR TO EXECUTION.

STAMP

PROJECT FOR  
PROPOSED RENOVATION AT  
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DRAWING NO.:

DATE:  
2025-09-12

DRAWN BY: **WESTCOAST**  
- JOURNEYMAN -

SHEET:

S01

# CONSTRUCTION NOTES

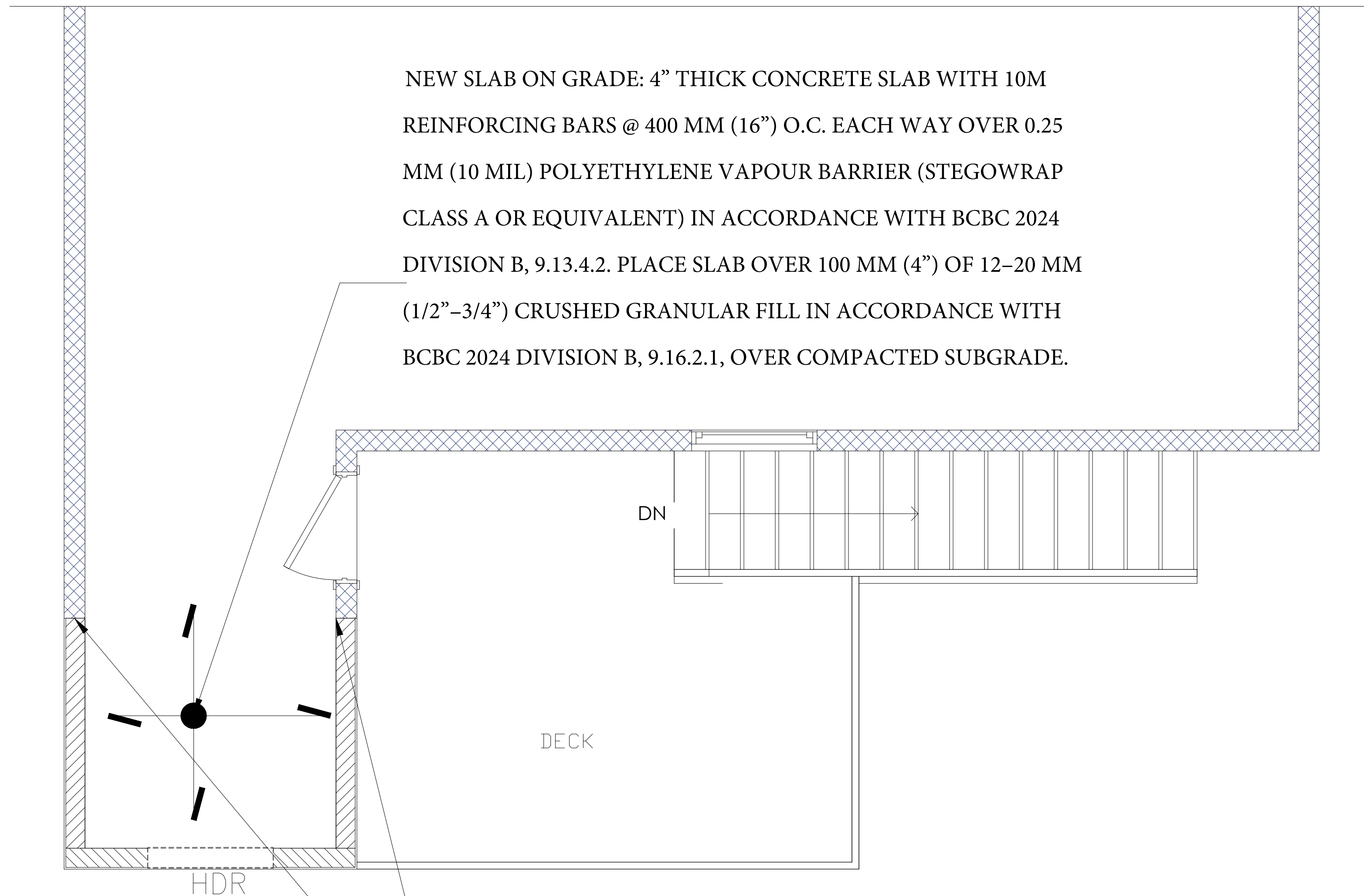
1. REFER TO STRUCTURAL GENERAL NOTES AND DETAIL SHEETS FOR MORE INFORMATION.
2. CONNECTORS SUCH AS SIMPSON OR EQUIVALENT CSA/CCMC APPROVED PRODUCTS MAY BE USED, PROVIDED THEIR CAPACITIES ARE EQUAL TO OR GREATER THAN SPECIFIED.
3. HANGERS FOR CONNECTION OF I-JOISTS TO OTHER FRAMING MEMBERS SHALL BE SIMPSON "IUS" OR APPROVED EQUIVALENT. HANGERS FOR CONNECTION OF SOLID JOISTS SHALL BE SIMPSON "LUS" OR APPROVED EQUIVALENT.
4. PROVIDE STRAPS AT TOP PLATE SPLICES AT ROOF FRAMING LEVELS AS INDICATED ON PLANS.
5. PROVIDE STRAPS AT LEDGER SPLICES AS INDICATED ON PLANS.
6. PROVIDE STRAP REINFORCEMENT AT RIM JOISTS AS INDICATED. LVL RIM JOISTS SHALL BE USED AT ALL FLOOR FRAMING EDGES.
7. PLYWOOD SHALL BE APPLIED TO BOTH SIDES OF SHEAR WALLS WHERE NOTED.
8. INTERIOR NON-BEARING WALLS MAY BE FRAMED WITH 2X STUDS AT 16" O.C.
9. SEE SCHEDULE FOR HEADERS AT OPENINGS IN EXTERIOR AND INTERIOR BEARING WALLS.
10. HEADER SIZES AT NON-BEARING WALLS: (2)2X4 FOR OPENINGS UP TO 3'-0" MAX., (2)2X6 FOR OPENINGS UP TO 6'-0" MAX., (2)2X8 FOR OPENINGS UP TO 8'-0" MAX., (2)2X10 FOR OPENINGS UP TO 10'-0" MAX., (2)2X12 FOR OPENINGS UP TO 12'-0" MAX., UNO.
11. 2X6 WALLS SHALL BE PROVIDED AT PLUMBING WALLS.
12. FOUNDATION ANCHOR BOLTS SHALL BE PROVIDED AT MAXIMUM 2.4 M O.C. AND WITHIN 300 MM OF PLATE ENDS, IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.23.6.1.
13. FOUNDATION ANCHOR BOLTS IN CONTACT WITH PRESSURE-TREATED SILL PLATES SHALL BE HOT-DIPPED GALVANIZED OR OF NON-CORROSIVE MATERIAL.
14. ALL CONNECTORS AND FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN COMPLIANCE WITH BCBC 2024 DIVISION B, 9.23.3.

# KEY NOTES

1. LINE OF 2X FLAT BLOCKING WITH EDGE NAILING AND CONTINUOUS STRAP OVER, UNO. SEE PLAN FOR NUMBER OF BAYS.
2. PROVIDE CONTINUOUS FULL-HEIGHT BLOCKING WITH EDGE NAILING, UNO. SEE PLANS FOR NUMBER OF BAYS.
3. BLOCKED ROOF DIAPHRAGM: NAIL WITH 3" COMMON NAILS AT 100 MM (4") O.C. AT BOUNDARIES, 100 MM (4") O.C. AT EDGES, AND 300 MM (12") O.C. IN FIELD.
4. BLOCKED FLOOR DIAPHRAGM: NAIL WITH 3-1/2" COMMON NAILS AT 100 MM (4") O.C. AT BOUNDARIES, 100 MM (4") O.C. AT EDGES, AND 300 MM (12") O.C. IN FIELD.
5. PROVIDE SOLID BLOCKING AS INDICATED.

### SHORING OF EXISTING STRUCTURE:-

1. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING OR BRACING AS REQUIRED TO PROTECT THE EXISTING FOUNDATION AND FRAMING DURING EXCAVATION AND CONSTRUCTION OF THE NEW ADDITION.
2. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT DAMAGE OR SETTLEMENT TO NEW OR EXISTING CONSTRUCTION WITHIN THE PROJECT LIMITS.
3. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION RESULTING FROM THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR.



NEW SLAB ON GRADE: 4" THICK CONCRETE SLAB WITH 10M REINFORCING BARS @ 400 MM (16") O.C. EACH WAY OVER 0.25 MM (10 MIL) POLYETHYLENE VAPOUR BARRIER (STEGOWRAP CLASS A OR EQUIVALENT) IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.13.4.2. PLACE SLAB OVER 100 MM (4") OF 12-20 MM (1/2"-3/4") CRUSHED GRANULAR FILL IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.16.2.1, OVER COMPACTED SUBGRADE.

PROVIDE SIMPSON A35 OR APPROVED CSA/CCMC EQUIVALENT ANGLE/STRAP CONNECTOR FOR STUD-TO-PLATE, WALL-TO-WALL, AND GENERAL FRAMING CONNECTIONS.

PROVIDE SIMPSON A35 OR APPROVED CSA/CCMC EQUIVALENT ANGLE/STRAP CONNECTOR FOR STUD-TO-PLATE, WALL-TO-WALL, AND GENERAL FRAMING CONNECTIONS.

PROVIDE SIMPSON H2.5A OR APPROVED CSA/CCMC EQUIVALENT HURRICANE CLIP FOR RAFTER/TRUSS-TO-TOP PLATE CONNECTIONS.

**PROPOSED**  
**FIRST FLOOR FRAMING PLAN**  
 SCALE : 1/2" = 1'-0"

STAMP

PROJECT FOR  
 PROPOSED RENOVATION AT  
 121 9 Ave E, Prince Rupert,  
 BC V8J 2R8, Canada

NO.	REVISION

DRAWING NO.:

DATE:  
 2025-09-12

DRAWN BY: **WESTCOAST**  
 -JOURNEYMAN-

SHEET:

S02

# CONSTRUCTION NOTES

1. RAFTERS SHALL BE 2X10 @ 400 MM (16") O.C. WITH 1/2" PLYWOOD SHEATHING, UNO.
2. ROOF SHEATHING SHALL BE 12.5 MM (1/2") PLYWOOD OR OSB, INSTALLED PER BCBC 2024 DIVISION B, 9.23.16.
3. PROVIDE HURRICANE CLIPS (SUCH AS SIMPSON H2.5A OR APPROVED CSA/CCMC EQUIVALENT) AT ALL RAFTER-TO-PLATE CONNECTIONS.
4. PROVIDE STRAPPING OR BLOCKING AT ALL RAFTER-TO-WALL AND RAFTER-TO-BEAM CONNECTIONS, UNO.
5. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AT SUPPORTS AND WHERE REQUIRED FOR SHEATHING EDGES.
6. NAILING FOR ROOF SHEATHING TO BE 63 MM (2-1/2") COMMON NAILS @ 150 MM (6") O.C. AT PANEL EDGES AND 300 MM (12") O.C. IN THE FIELD, IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.23.16.5.
7. PROVIDE ROOF VENTILATION IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.19, MINIMUM 1/300 OF INSULATED CEILING AREA.
8. ROOF UNDERLAYMENT, FLASHING, AND SHINGLES TO BE INSTALLED IN ACCORDANCE WITH BCBC 2024 DIVISION B, 9.26.

# KEY NOTES

1. LINE OF 2X FLAT BLOCKING WITH EDGE NAILING AND CONTINUOUS STRAP OVER, UNLESS NOTED OTHERWISE. SEE PLAN FOR NUMBER OF BAYS.
2. PROVIDE CONTINUOUS FULL-HEIGHT BLOCKING WITH EDGE NAILING, UNLESS NOTED OTHERWISE. SEE PLANS FOR NUMBER OF BAYS.
3. BLOCKED ROOF DIAPHRAGM: NAIL WITH 3" COMMON NAILS AT 100 MM (4") O.C. AT BOUNDARIES, 100 MM (4") O.C. AT EDGES, AND 300 MM (12") O.C. IN FIELD.
4. BLOCKED FLOOR DIAPHRAGM: NAIL WITH 3-1/2" COMMON NAILS AT 100 MM (4") O.C. AT BOUNDARIES, 100 MM (4") O.C. AT EDGES, AND 300 MM (12") O.C. IN FIELD.
5. PROVIDE SOLID BLOCKING AS INDICATED.

STAMP

PROJECT FOR  
 PROPOSED RENOVATION AT  
 121 9 Ave E, Prince Rupert,  
 BC V8J 2R8, Canada

NO.	REVISION

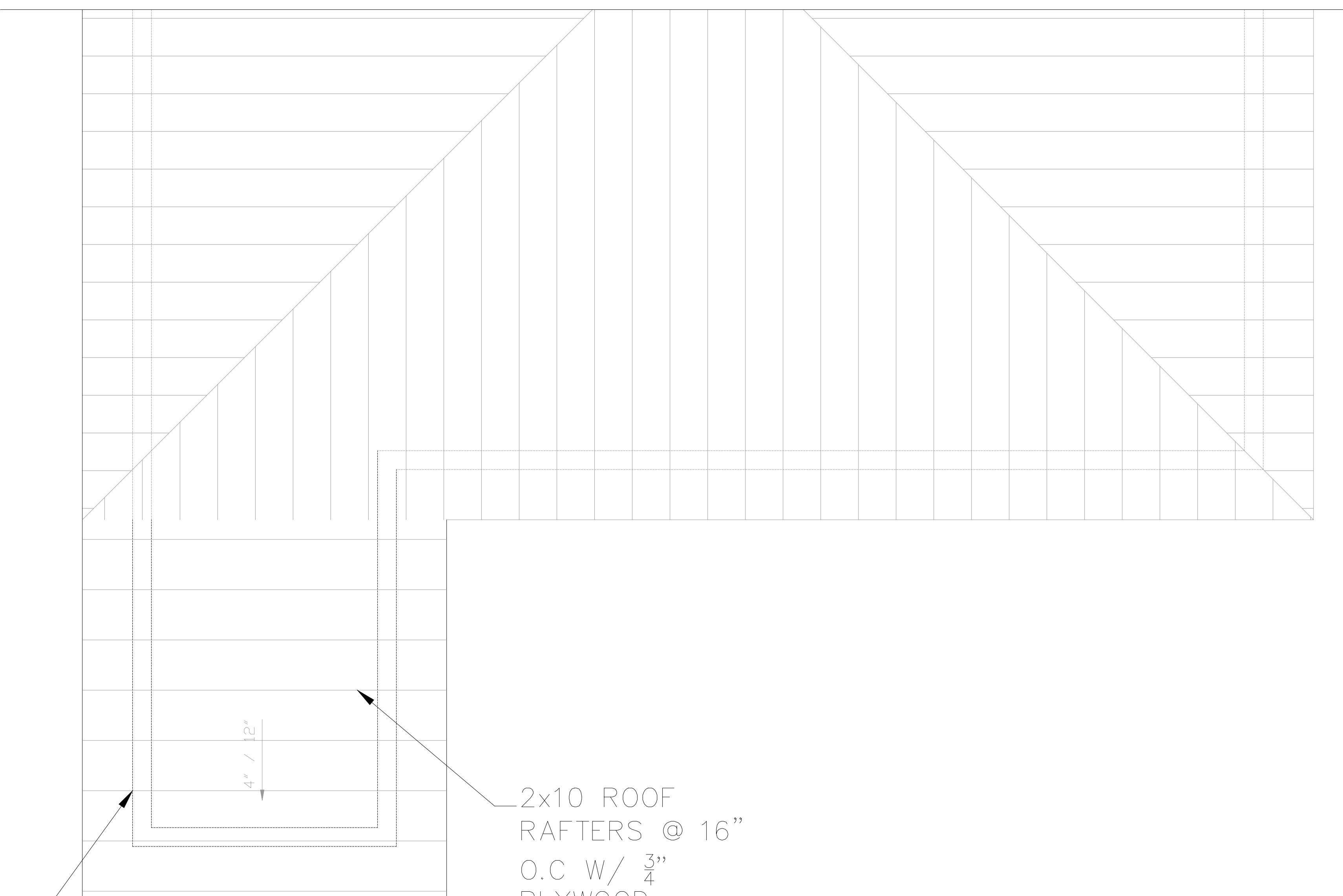
DRAWING NO.:

DATE:  
 2025-09-12

DRAWN BY: **WESTCOAST**  
 -JOURNEYMAN-

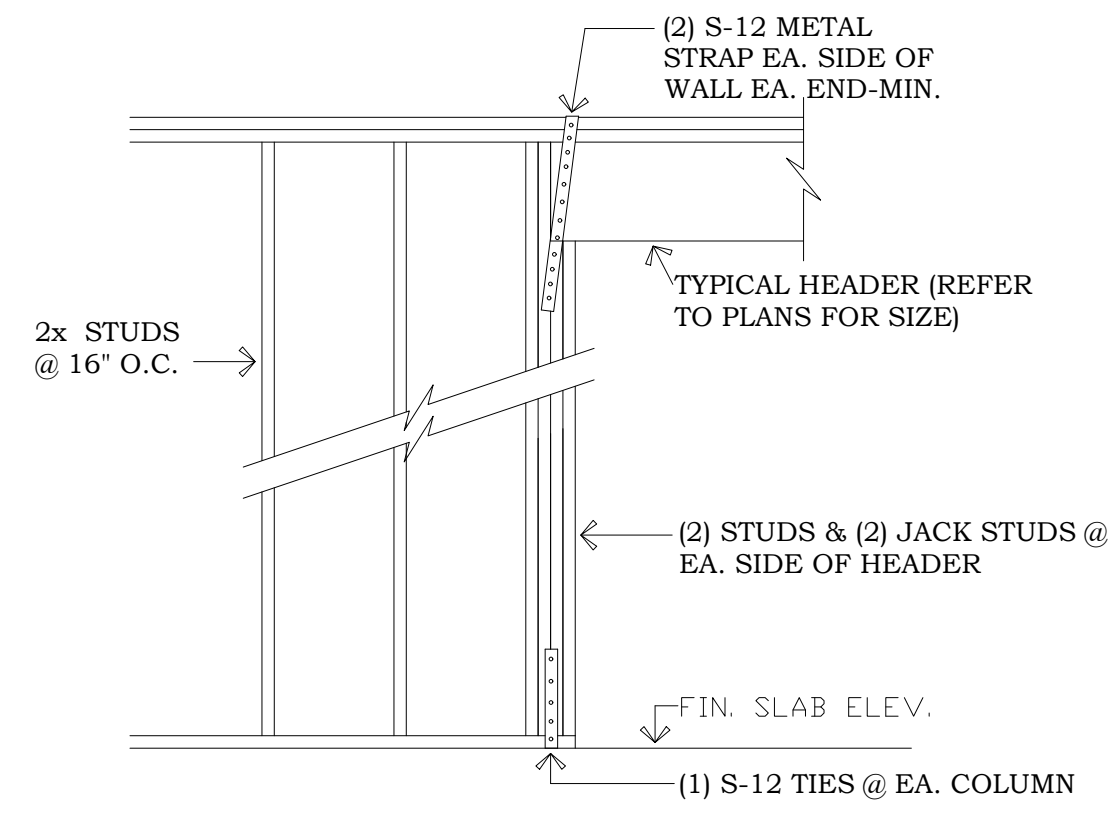
SHEET:

S03



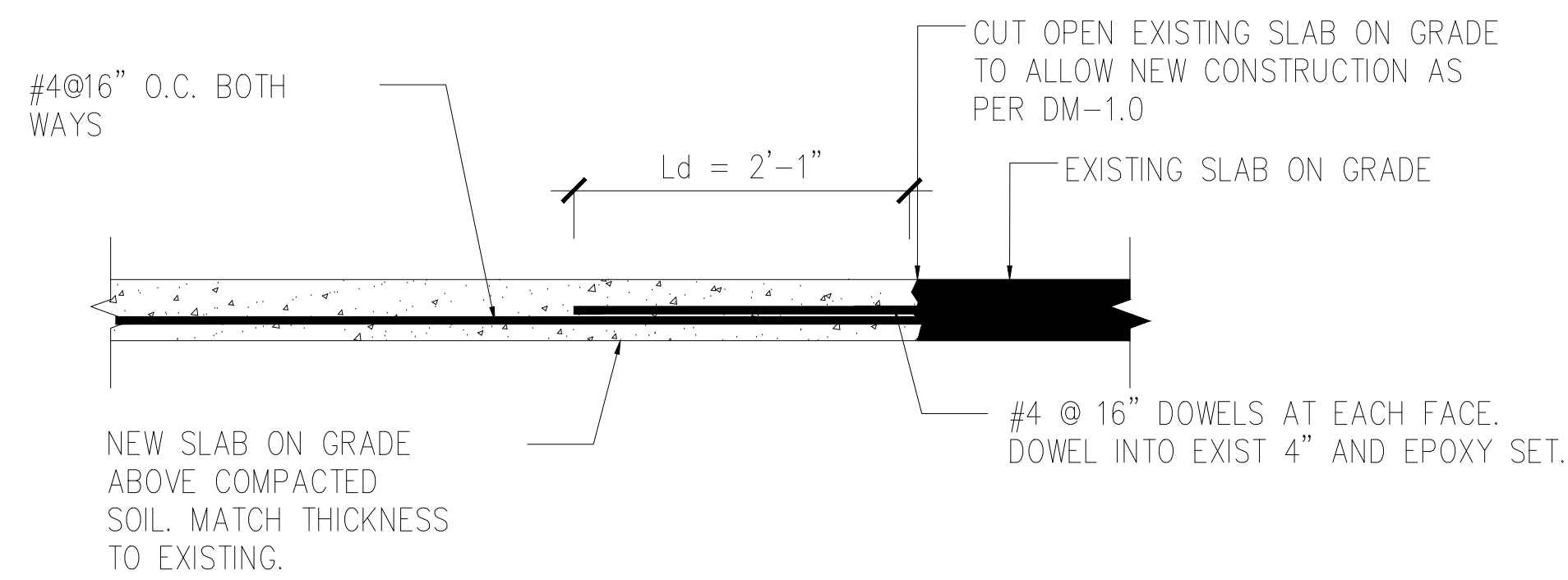
BEARING WALL  
 BELOW

PROPOSED  
**ROOF FRAMING PLAN**  
 SCALE : 1/2" = 1'-0"

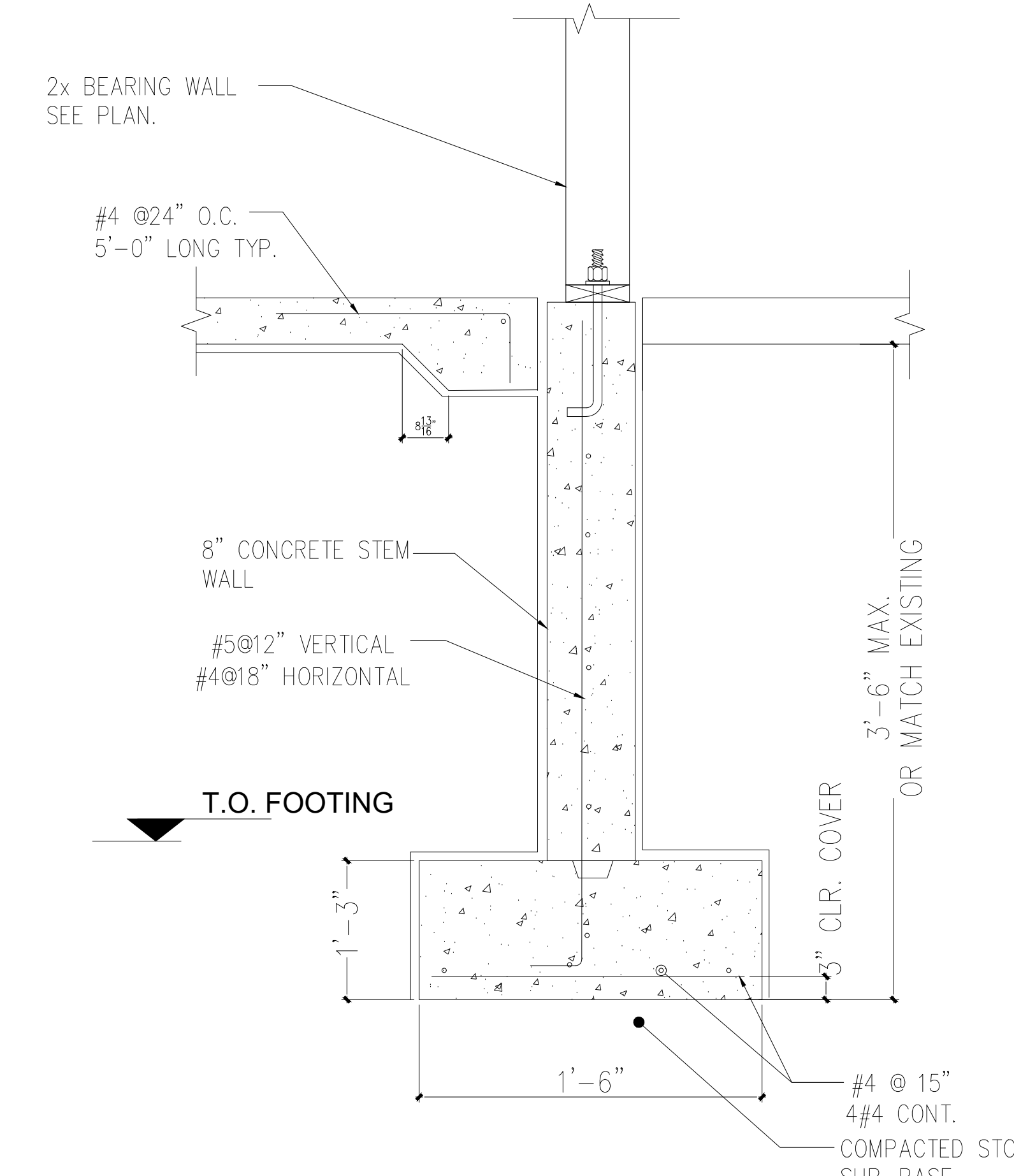


**HEADER DETAIL**

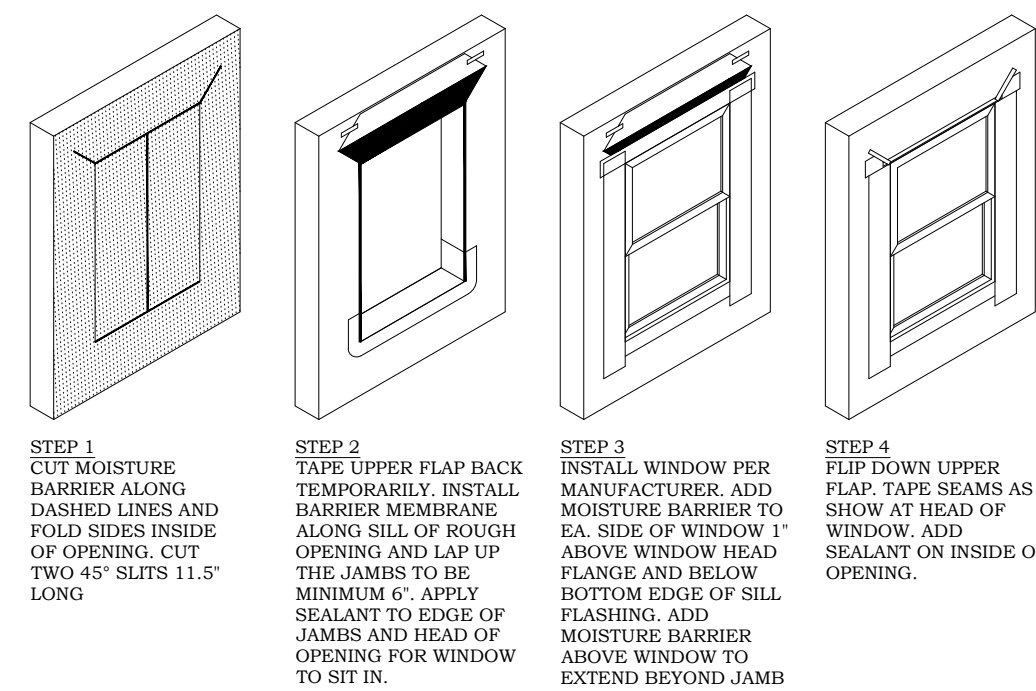
Scale: 1/2" = 1'-0"



**DETAIL AT CONNECTION OF NEW AND EXISTING S.O.G**



**DETAIL AT NEW FOUNDATION WALL**

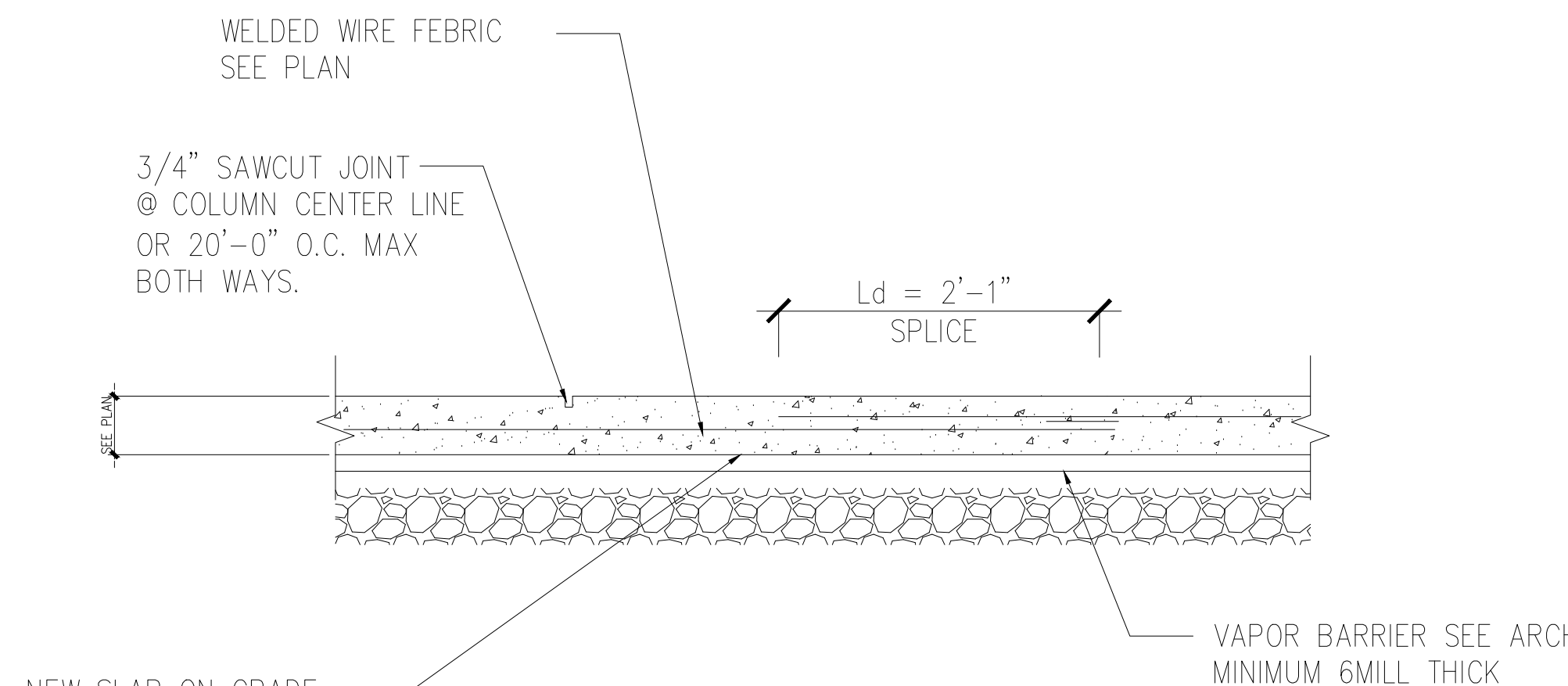


- STEP 1 CUT MOISTURE BARRIER ALONG DASHED LINES AND FOLD SIDES INSIDE OF OPENING. CUT TWO 45° SLITS 11.5" LONG
- STEP 2 TAPE UPPER FLAP BACK TEMPORARILY. INSTALL BARRIER MEMBRANE ALONG SILL OF ROUGH OPENING AND LAP UP THE JAMBS TO BE MINIMUM 6". APPLY SEALANT TO EDGE OF JAMBS AND HEAD OF OPENING FOR WINDOW TO SIT IN.
- STEP 3 INSTALL WINDOW PER MANUFACTURER. ADD MOISTURE BARRIER TO EA. SIDE OF WINDOW 1" ABOVE WINDOW HEAD FLANGE AND BELOW BOTTOM EDGE OF SILL FLASHING. ADD MOISTURE BARRIER ABOVE WINDOW TO EXTEND BEYOND JAMB FLASHING.
- STEP 4 FLIP DOWN UPPER FLAP. TAPE SEAMS AS SHOWN AT HEAD OF WINDOW. ADD SEALANT ON INSIDE OF OPENING.

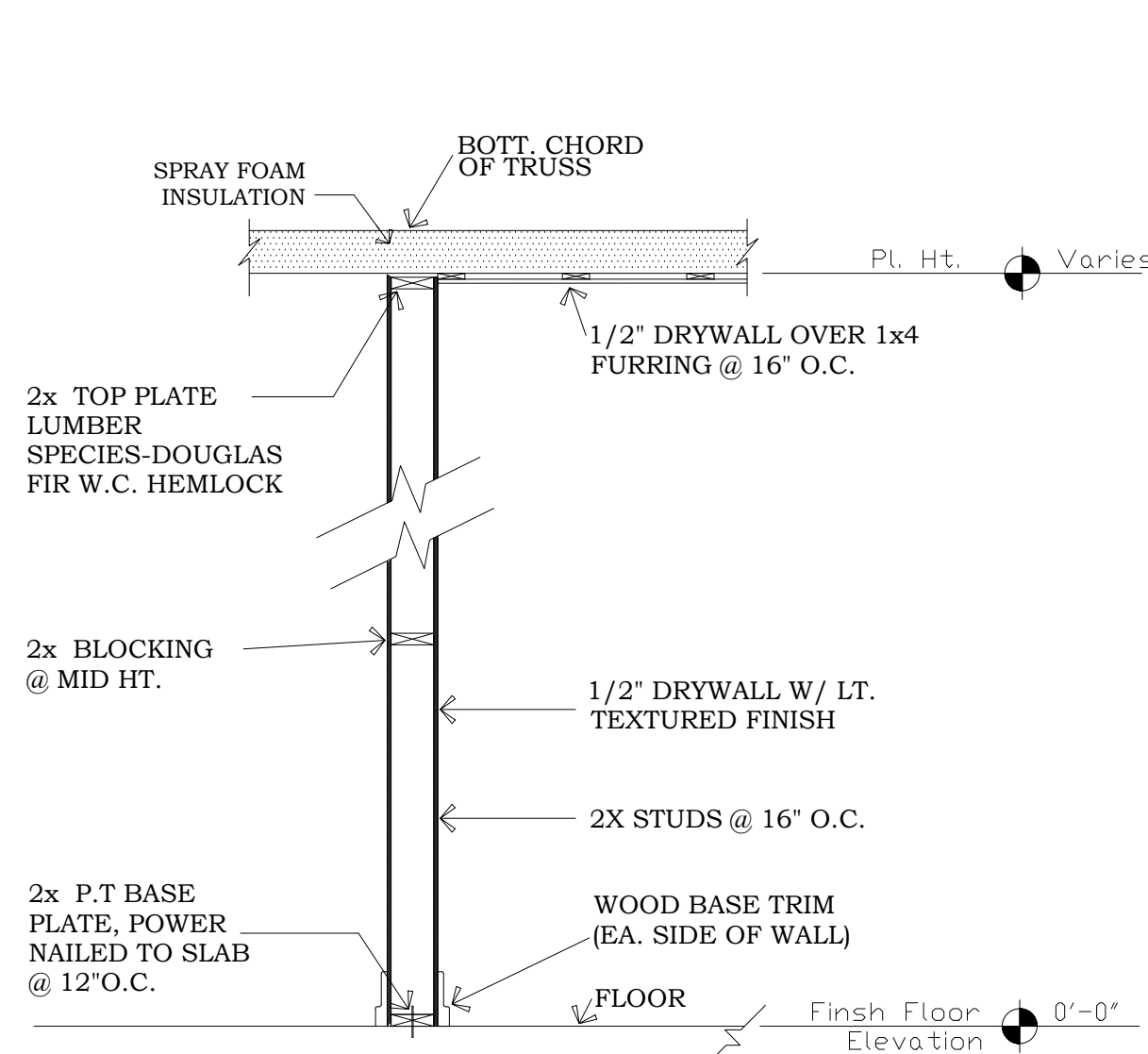
GENERAL NOTES:  
 • FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS OR FLASHING MANUFACTURER'S INSTRUCTIONS TO BE USED IF AVAILABLE, IF NONE ARE AVAILABLE THEN FLASHING MUST COMPLY WITH FMA/AMA 100, 200, 250, 300 OR AS NOTED ABOVE.  
 • PREPARE OPENINGS PRIOR TO INSTALLATION OF WINDOW OR MECHANICAL EQUIPMENT. COORDINATE INSTALLATION WITH ASSOCIATED SUBTRADES.  
 • PROVIDE MOISTURE BARRIER AND OTHER ASSOCIATED TRIM & ACCESSORIES.  
 • PROVIDE FLASHING AT SILL TO DRAIN WATER TO THE EXTERIOR.

**ROUGH OPENING PREPARATION DETAIL**

Scale: 1/2" = 1'-0"

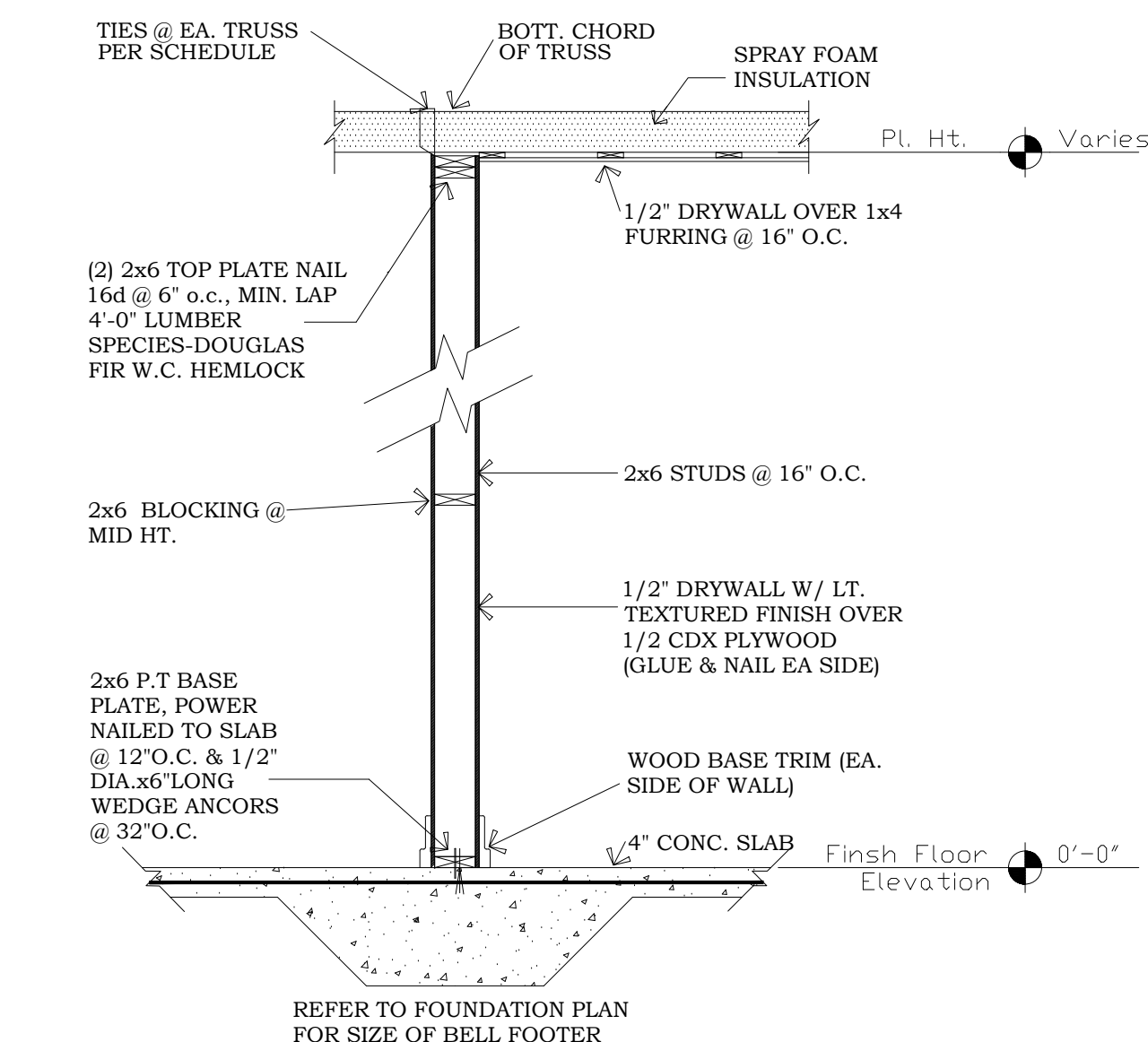


**TYPICAL S.O.G DETAIL**



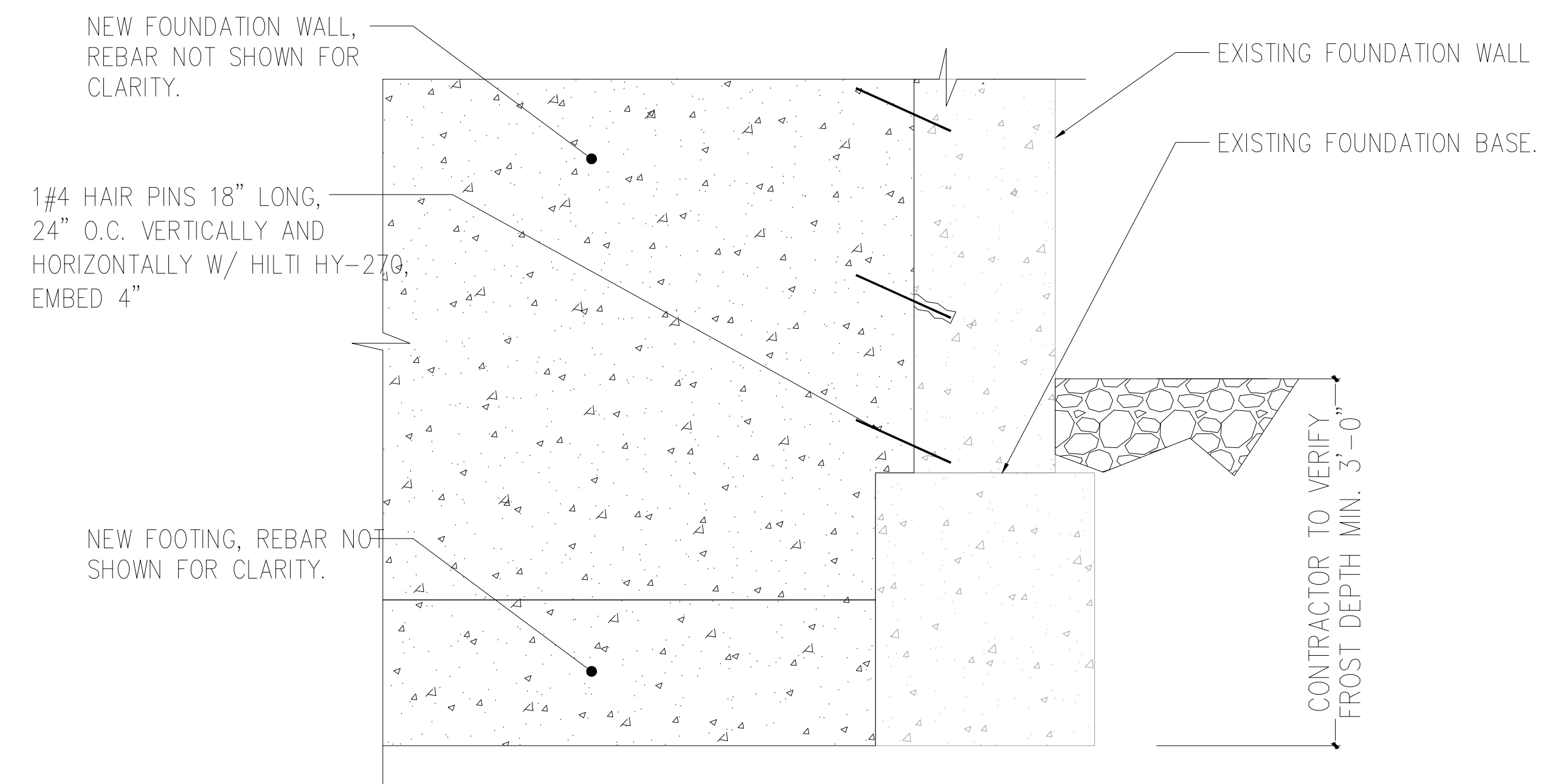
**TYPICAL INTERIOR PARTITION SECTION**

Scale: NTS



**BEARING/SHEAR WALL SECTION**

Scale: 1/2" = 1'-0"



**DETAIL AT CONNECTION OF NEW AND EXISTING FOUNDATION WALL**

STAMP

PROJECT FOR  
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DATE:

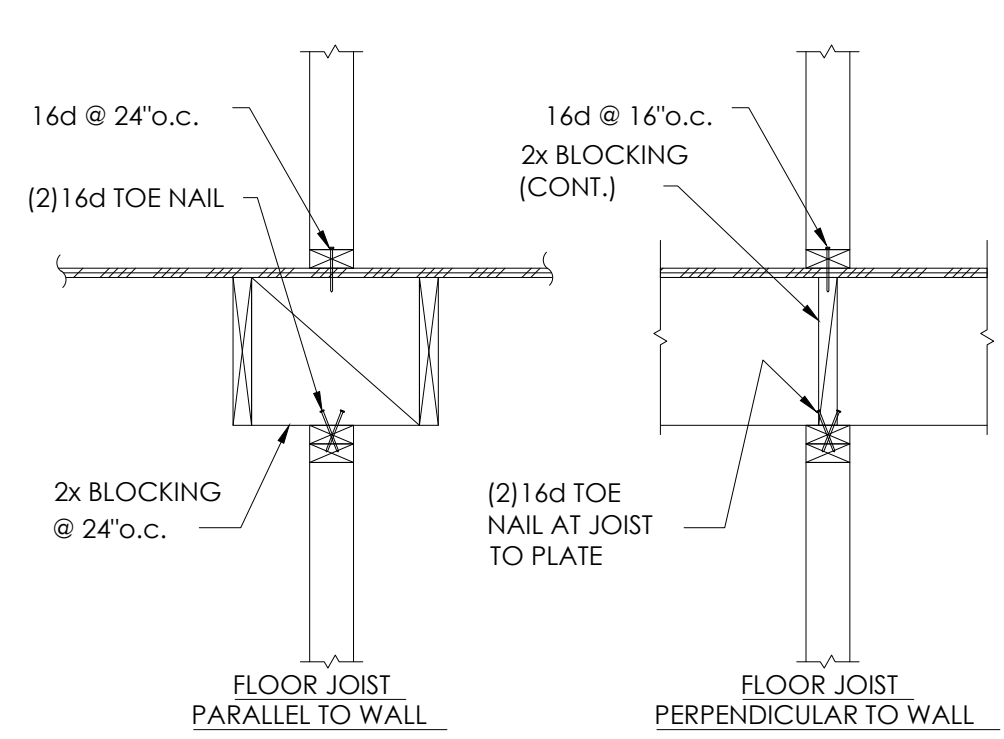
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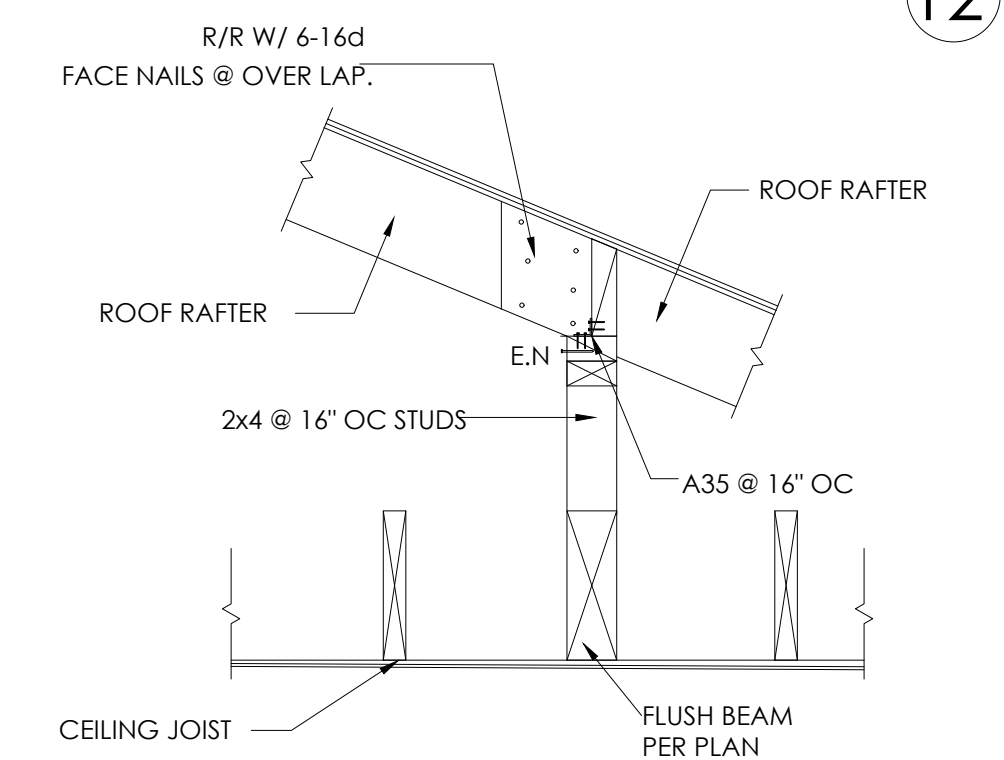


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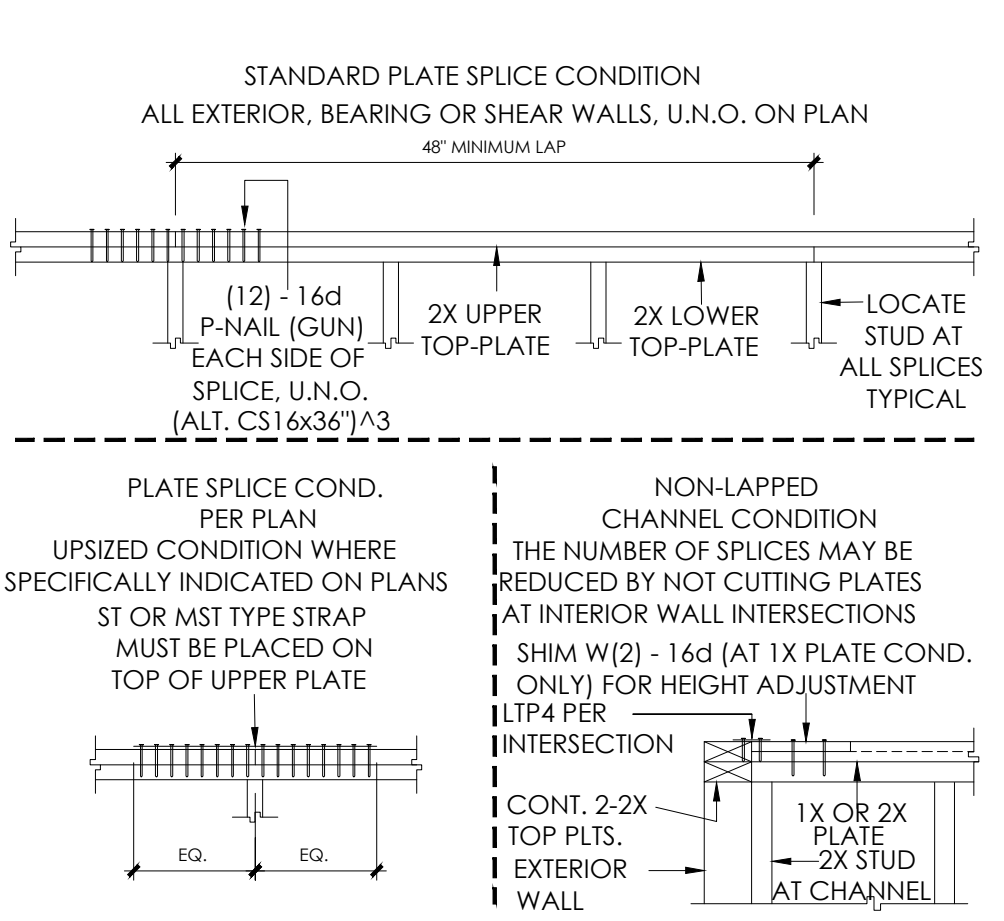
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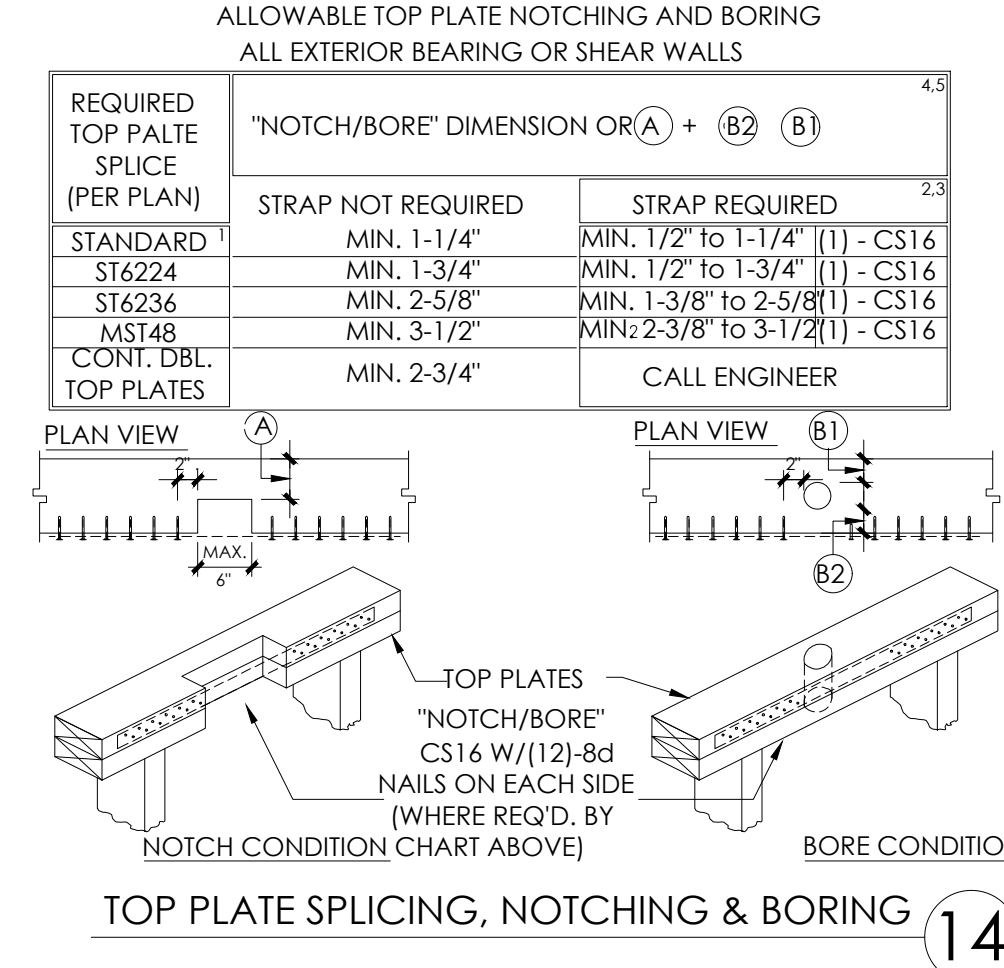
TYPICAL NON-BEARING PARTITION WALL AT SAWN LUMBER FRAMING DETAIL 12



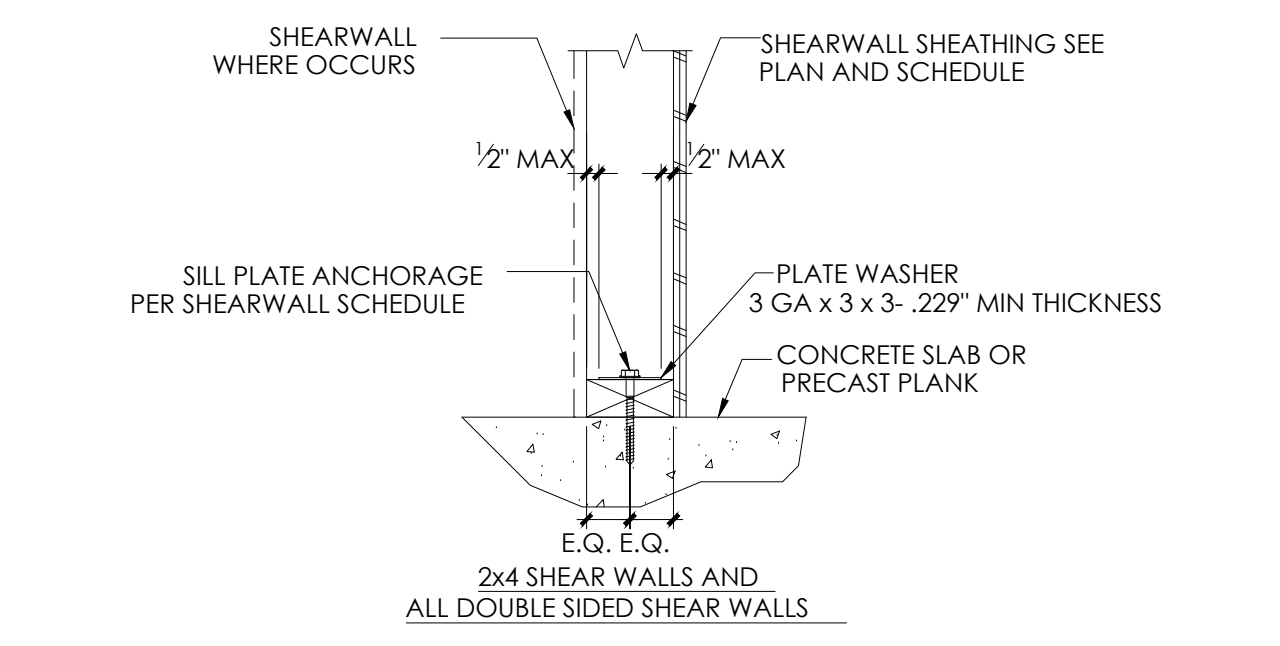
RAFTER TO FLUSH BM. CONN. 13



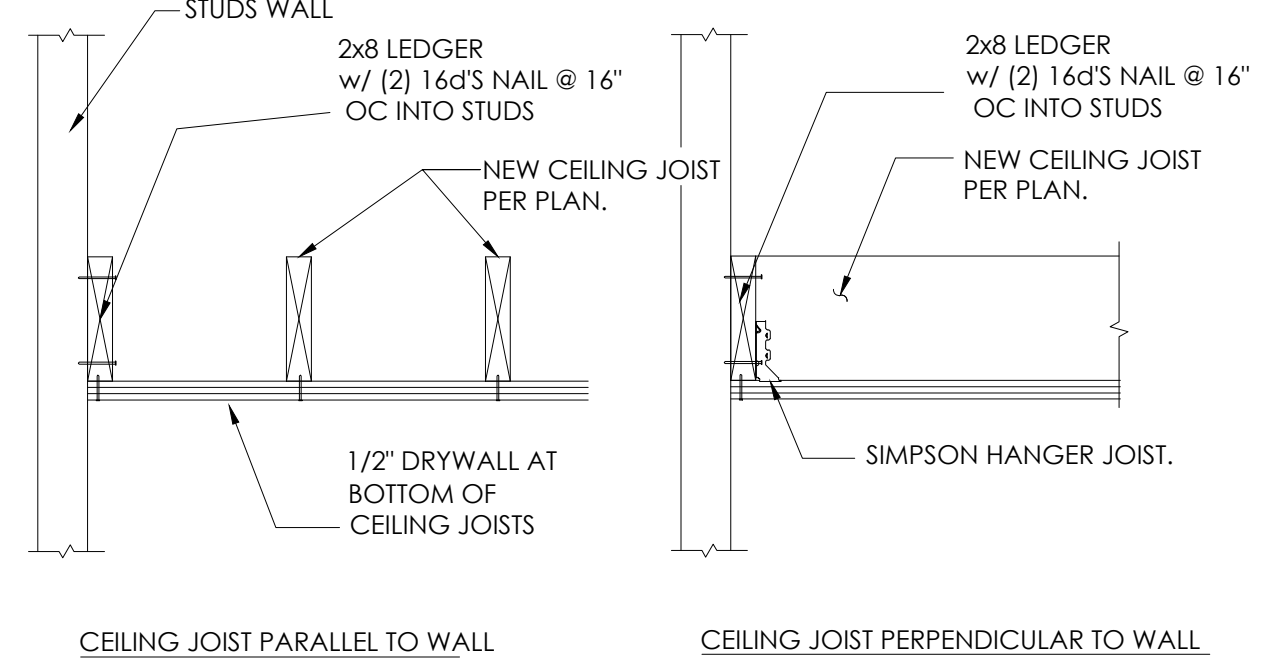
TYPICAL NON-BEARING PARTITION WALL AT ROOF FRAMING DETAIL 10



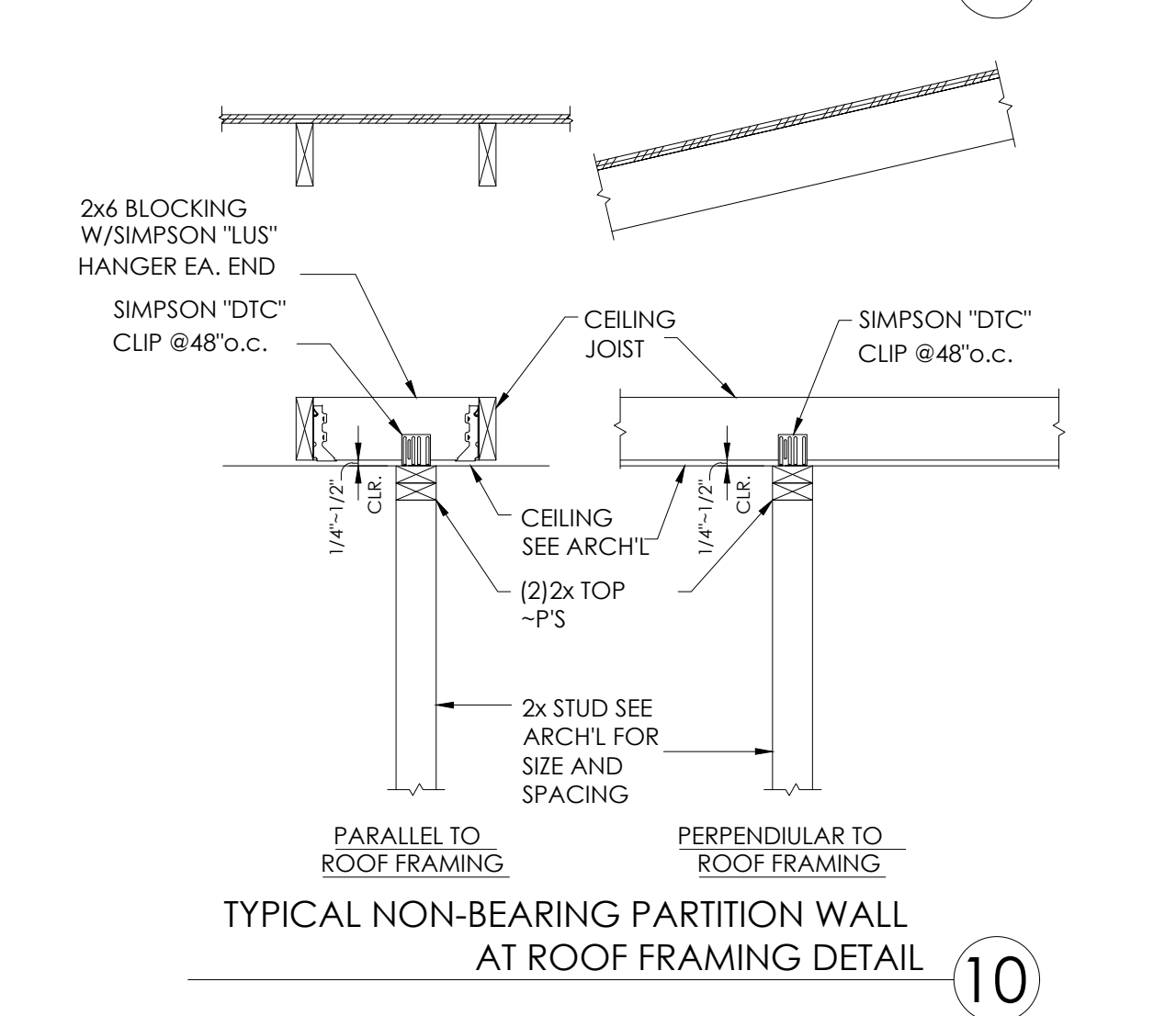
TOP PLATE SPlicing, NOTCHING & BORING 14



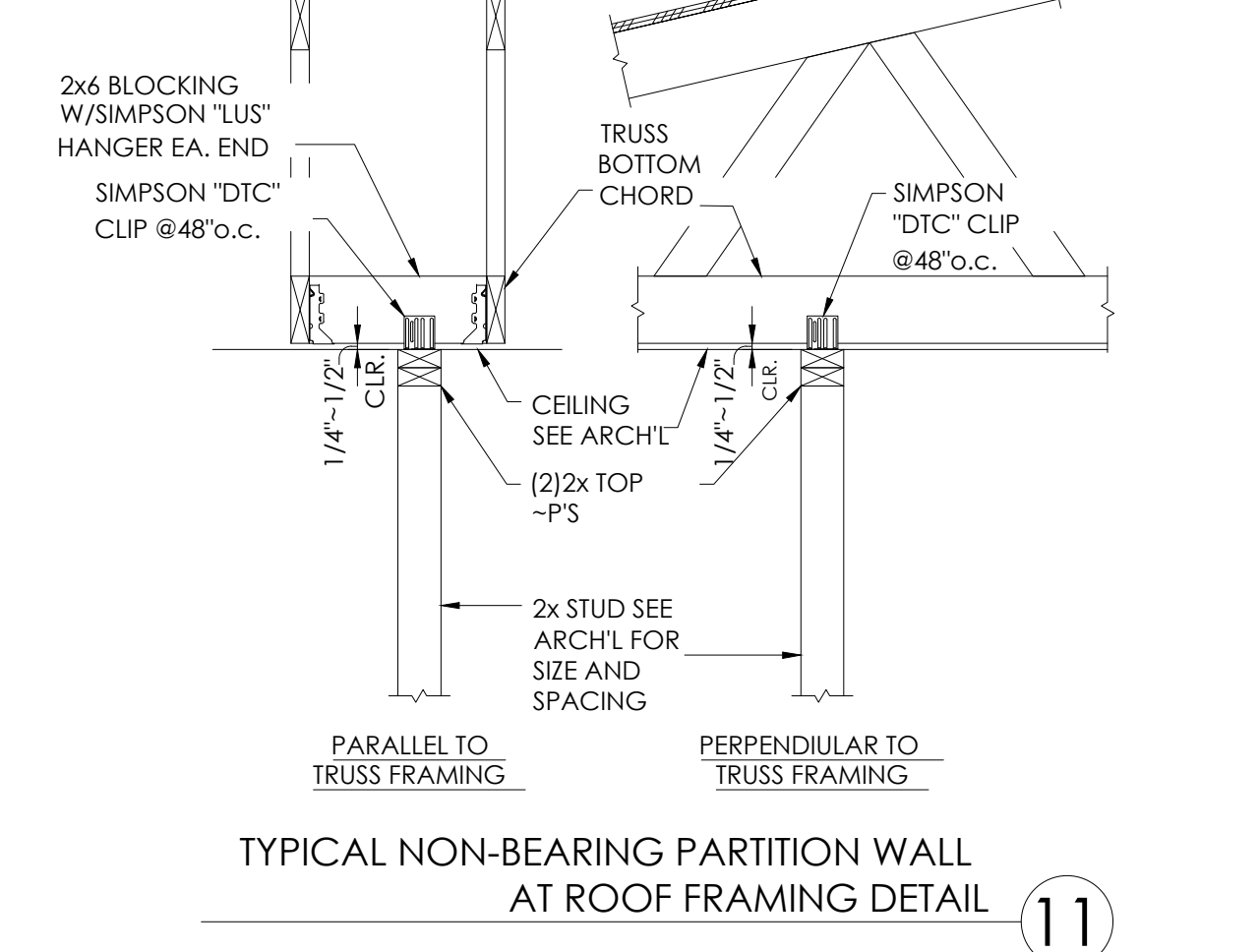
WOOD SHEARWALL SILL PLATE ANCHORAGE 8



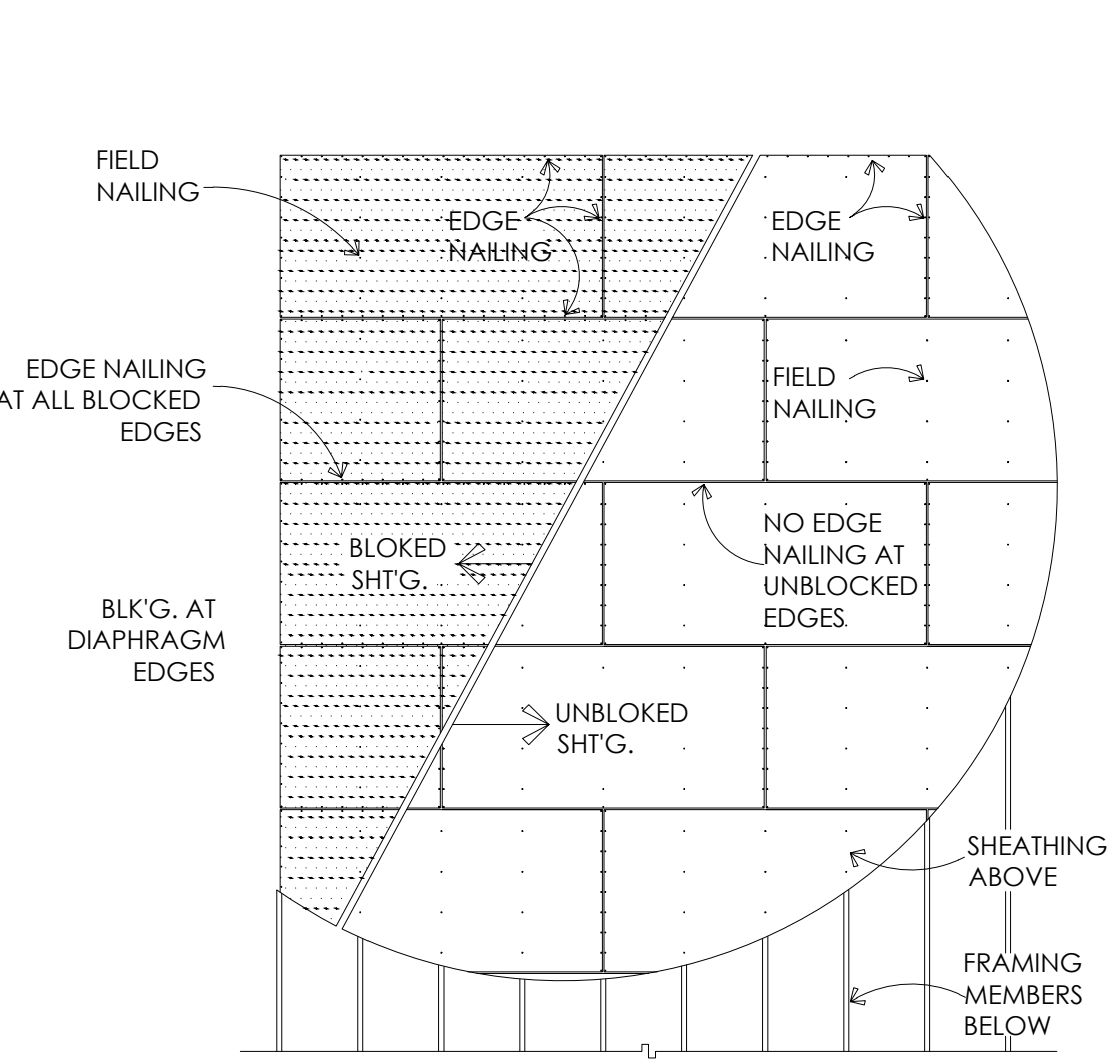
CEILING JOIST TO WALL DETAIL 9



TYPICAL NON-BEARING PARTITION WALL AT ROOF FRAMING DETAIL 10

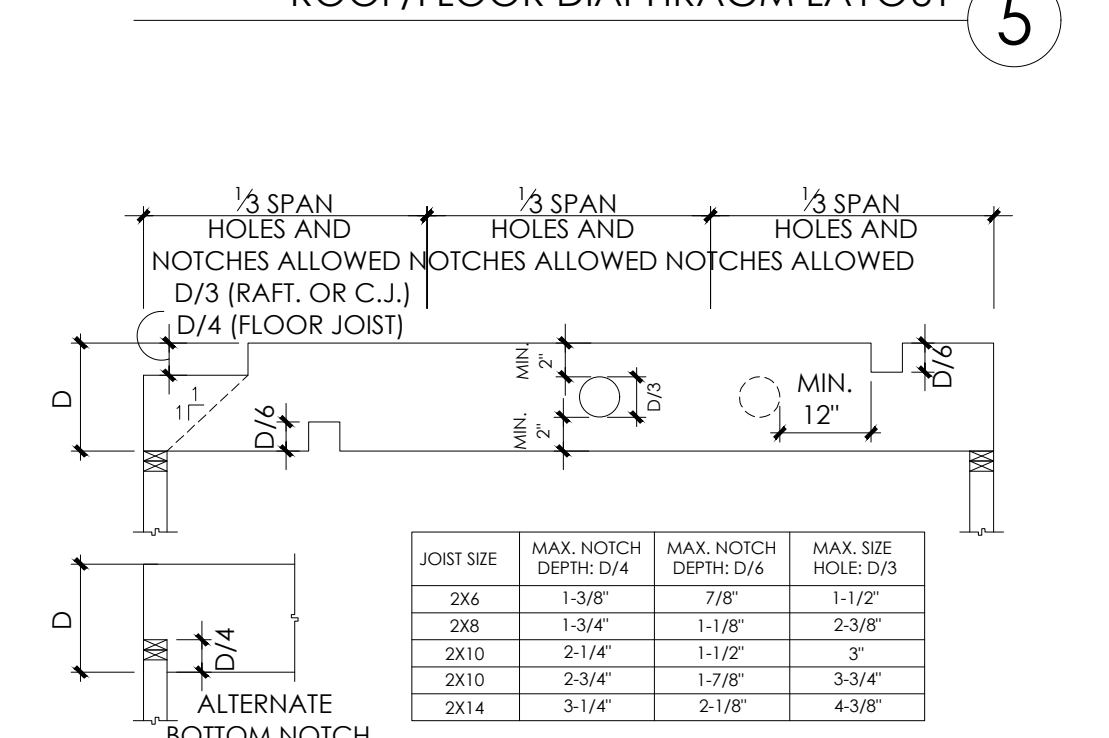


TYPICAL NON-BEARING PARTITION WALL AT ROOF FRAMING DETAIL 11



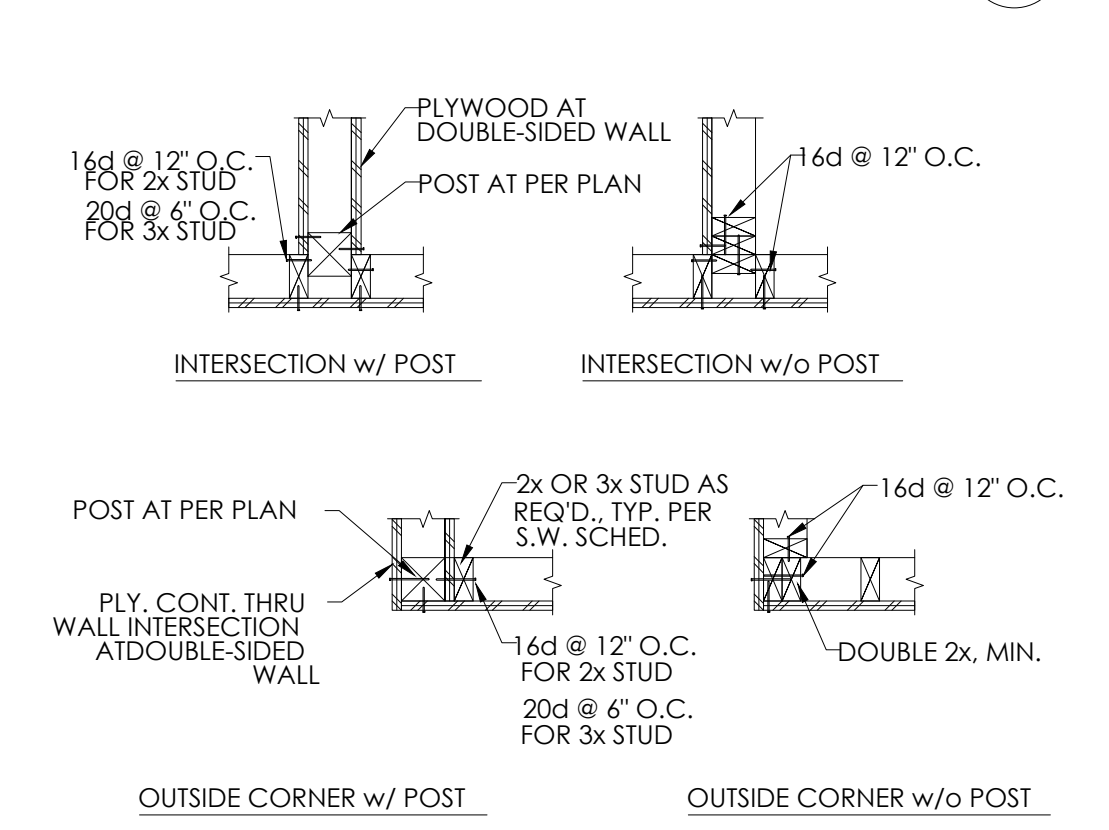
ROOF/FLOOR DIAPHRAGM LAYOUT 5

NOTE:  
 1. SEE SHEET S0.0 FOR PLYWOOD THICKNESS, NAILING AND ADDITIONAL NOTES.  
 2. PANELS SHALL NOT BE LESS THAN 4 FT. X 8 FT. EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM PANEL DIMENSIONS SHALL BE 24" UNLESS ALL EDGES OF THE UNDERSIZED PANELS ARE SUPPORTED BY FRAMING MEMBERS OR BLOCKING.  
 3. LONG DIMENSION OF PLYWOOD SHALL RUN ACROSS (PERPENDICULAR TO) JOISTS OR RAFTERS.  
 4. NAILS SHALL NOT BE DRIVEN THROUGH OUTER PLY.  
 5. BLOCKED SHT'G. (WHERE INDICATED) REQUIRES ALL PANEL EDGES TO RECEIVE EDGE NAILING.  
 6. WHERE JOISTS OR RAFTERS LAP SPLICE OCCURS AND PLYWOOD JOINT IS CONTINUOUS.



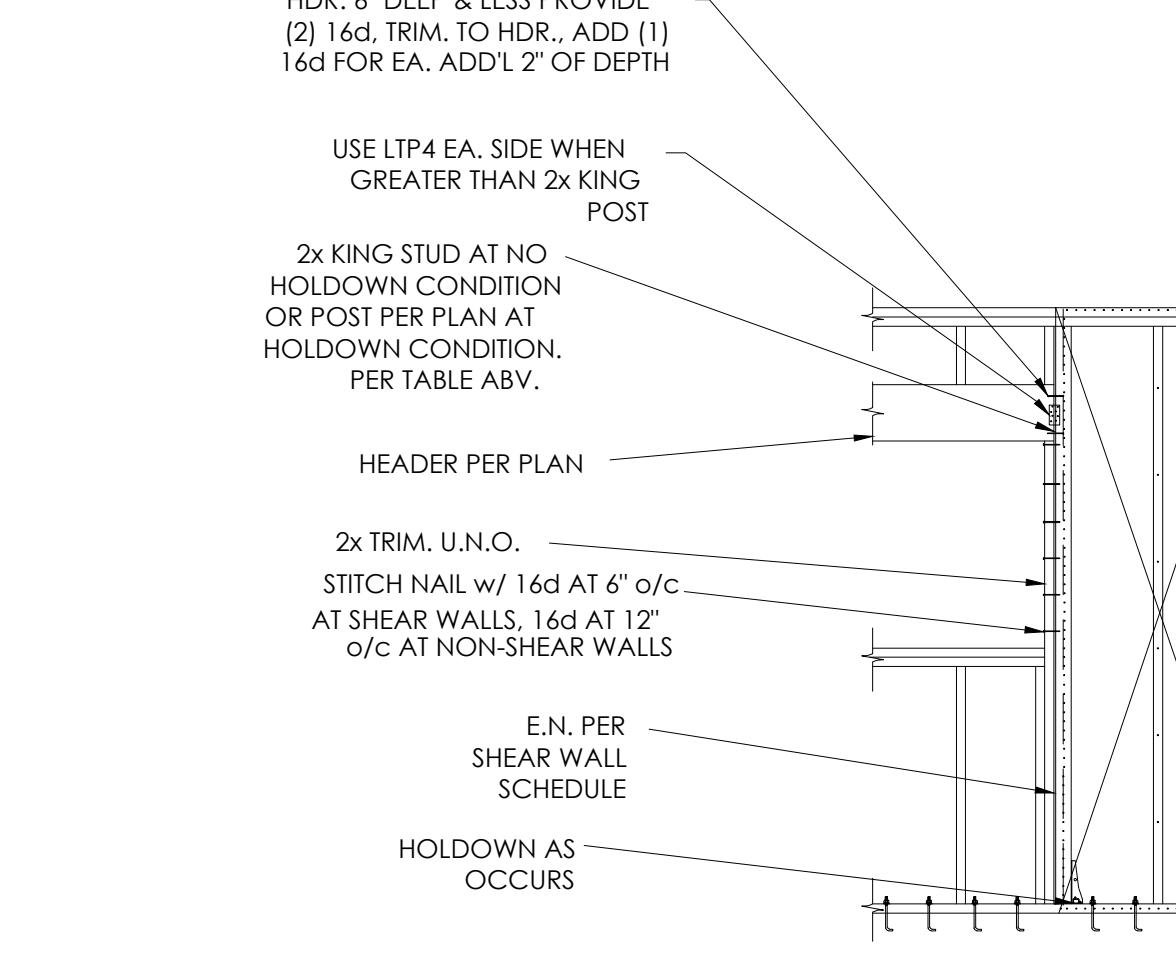
DRILLING HOLES AND NOTCHING OF THE JOIST 6

NOTE:  
 1. DO NOT NOTCH BOTH TOP AND BOTTOM SURFACES WITHIN THE SAME 1/3 SPAN.  
 2. MAX. ALLOWED IS A COMBINATION OF TWO NOTCHES AND/OR HOLES PER 1/3 SPAN.  
 3. THIS DETAIL DOES NOT APPLY TO NOTCHES AND HOLES IN STRUCTURAL BEAMS, THEY MUST BE SPECIFICALLY DETAILED.  
 4. NOTCHES AND HOLES ARE NOT ALLOWED IN CANTILEVERED SEGMENTS OF JOISTS.  
 5. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR NOTCHES AND HOLES WHERE I-JOIST TRUSSES ARE USED.  
 6. ANY OVER CUTS ARE TO BE INCLUDED IN THE MAXIMUM NOTCH DEPTH DIMENSION.



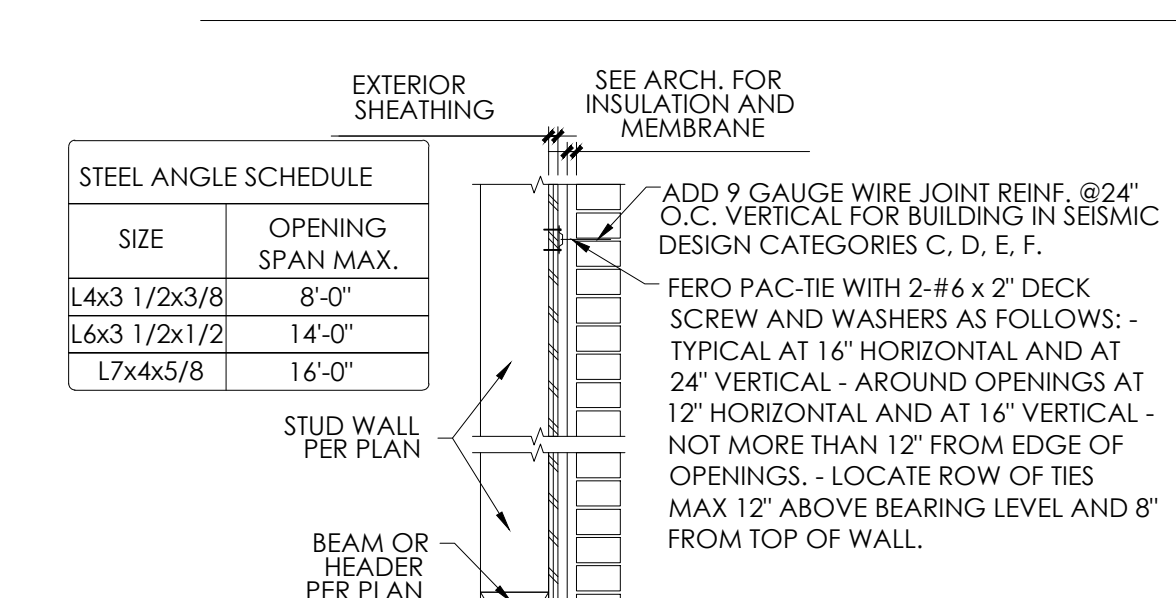
SHEAR WALL/ INTERSECTION 7

NOTE:  
 SEE FRAMING PLAN FOR SHEAR WALL LOCATIONS, ORIENTATIONS AND SCHEDULE REFERENCES



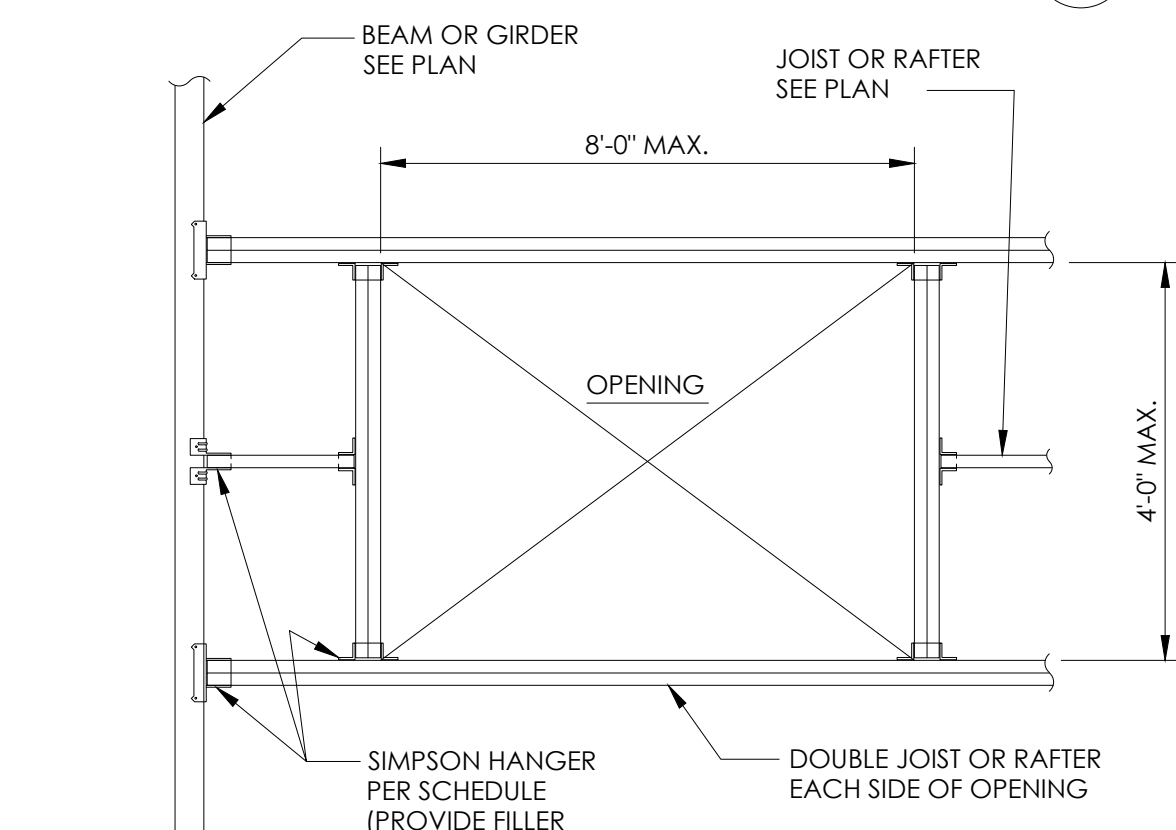
TYPICAL WALL FRAMING 1

1. SHEAR WALL EDGE NAILING TO HAVE MIN. EDGE DISTANCE OF 3/8".  
 2. WHEN SHEATHING IS NAILED TO TRIMMER, TRIMMER AND KING STUD TO BE STITCH NAILED TOGETHER WITH 16D'S, SPACING TO MATCH EDGE NAILING OF SHEAR WALL.  
 3. SHEAR WALL PENETRATIONS ARE TO BE IN CONFORMANCE WITH THE DETAIL BELOW. LIMIT ONE PENETRATION GREATER THAN 5" SQUARE PER STUD BAY. CUTS TO BE MINIMUM 16" FROM EDGE OF SHEAR WALL, ALL DIRECTIONS.  
 4. CONTACT ENGINEER OF RECORD FOR HOLES LARGER THAN 16" SQUARE.  
 5. TOTAL LENGTH OF OPENINGS SHALL NOT EXCEED 20% OF THE TOTAL WALL LENGTH.



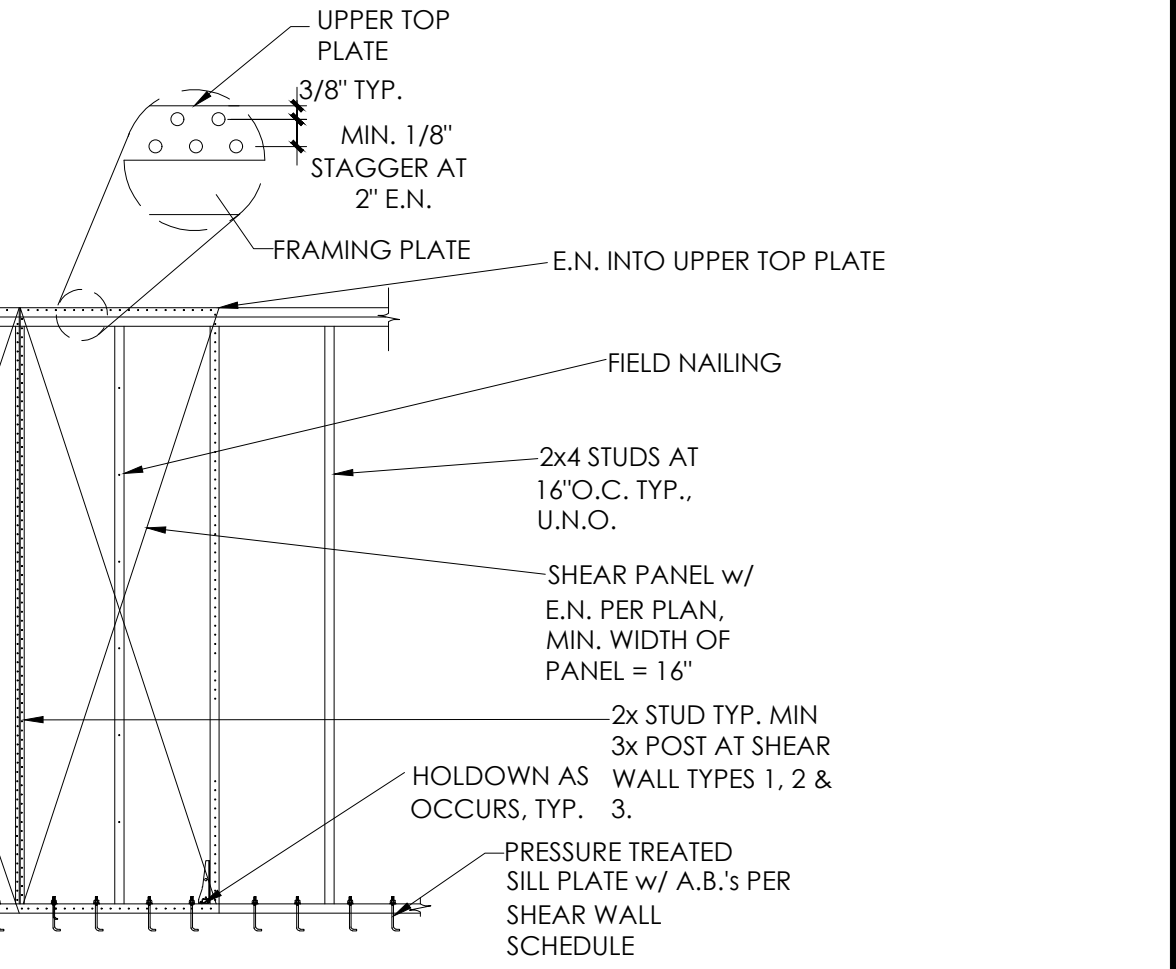
VENEER TO WOOD WALL 3

NOTE:  
 ADD 9 GAUGE WIRE JOINT REIN. @24" O.C. VERTICAL FOR BUILDING IN SEISMIC DESIGN CATEGORIES C, D, E, F.  
 FERRO PAC-TIE WITH 2-#6 x 2" DECK SCREW AND WASHERS AS FOLLOWS: - TYPICAL AT 16" HORIZONTAL AND AT 24" VERTICAL - AROUND OPENINGS AT 12" HORIZONTAL AND AT 16" VERTICAL - NOT MORE THAN 12" FROM EDGE OF OPENINGS. - LOCATE ROW OF TIES MAX 12" ABOVE BEARING LEVEL AND 8" FROM TOP OF WALL.

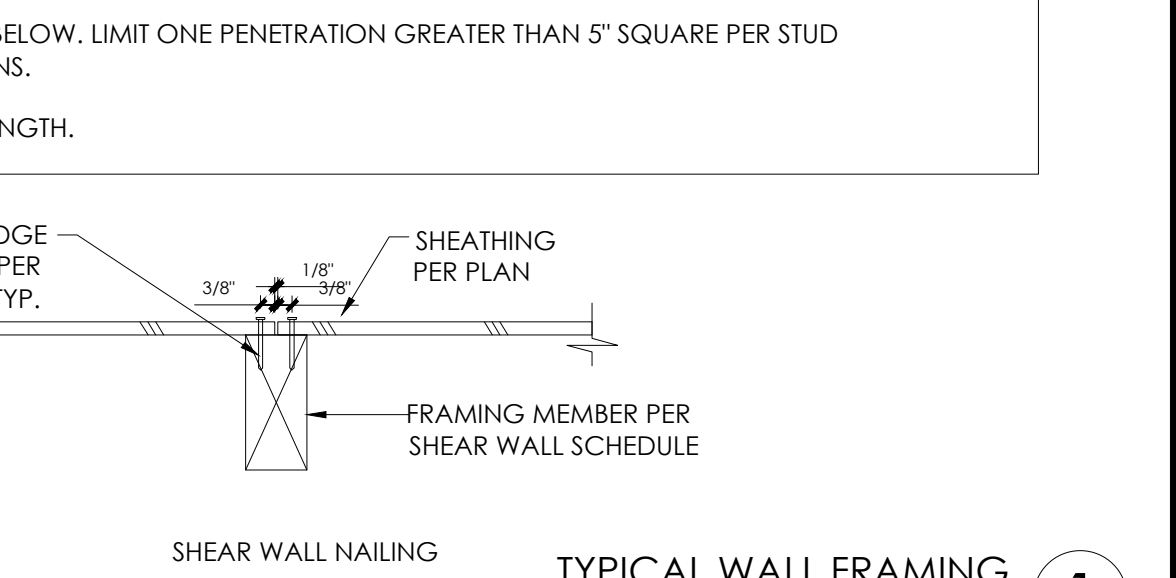


TYPICAL FLOOR/ROOF OPENING DETAIL 4

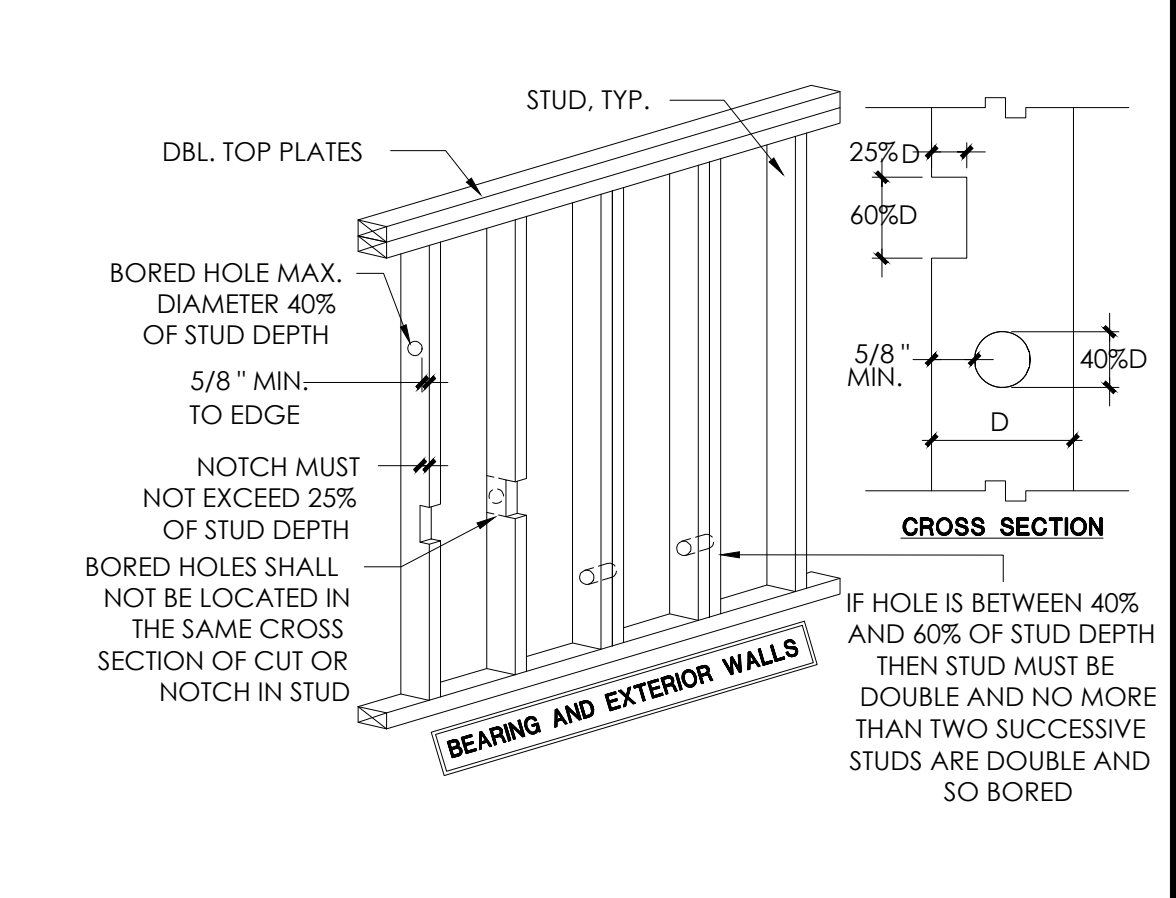
NOTE:  
 PROVIDE EDGE NAILING TO ALL EDGES OF OPENING.



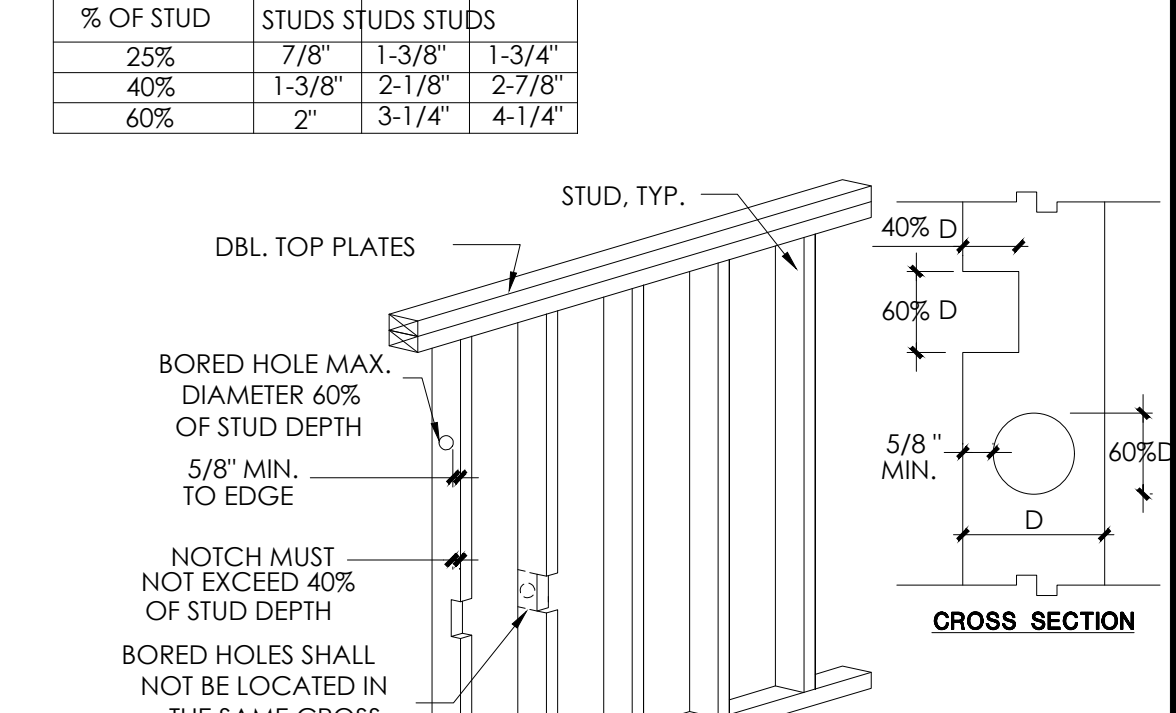
STUD NOTCHING AND BORING 2



STUD NOTCHING AND BORING 2



STUD NOTCHING AND BORING 2



STUD NOTCHING AND BORING 2

NOTE:  
 IF HOLE IS BETWEEN 40% AND 60% OF STUD DEPTH THEN STUD MUST BE DOUBLE AND NO MORE THAN TWO SUCCESSIVE STUDS ARE DOUBLE AND SO BORED

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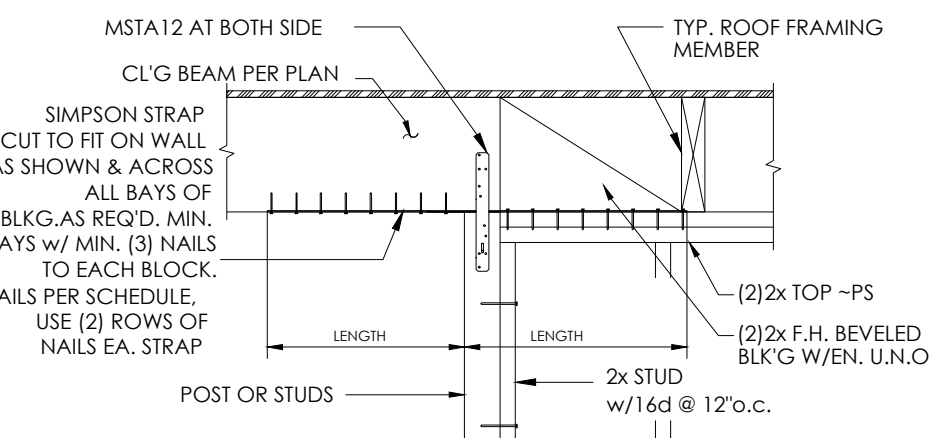
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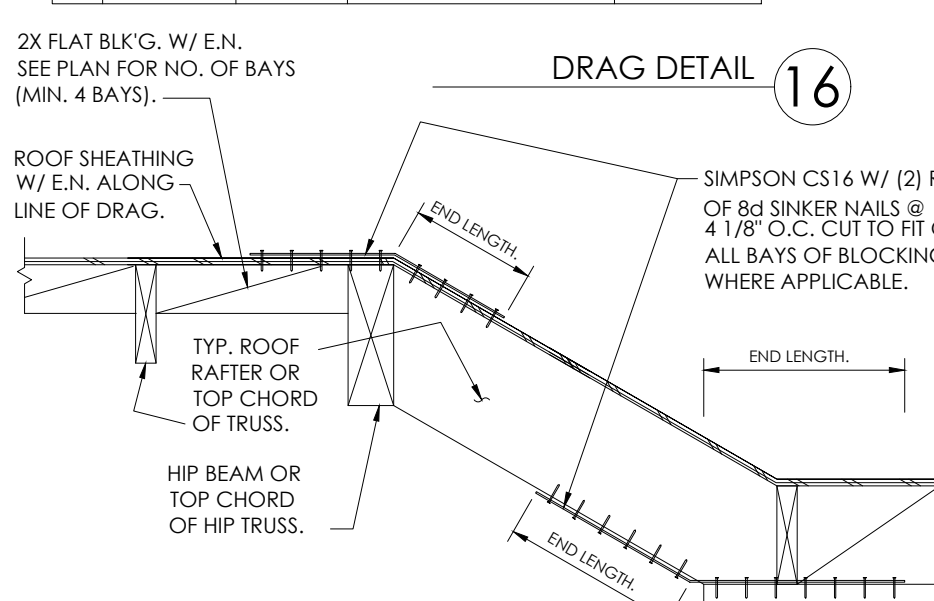
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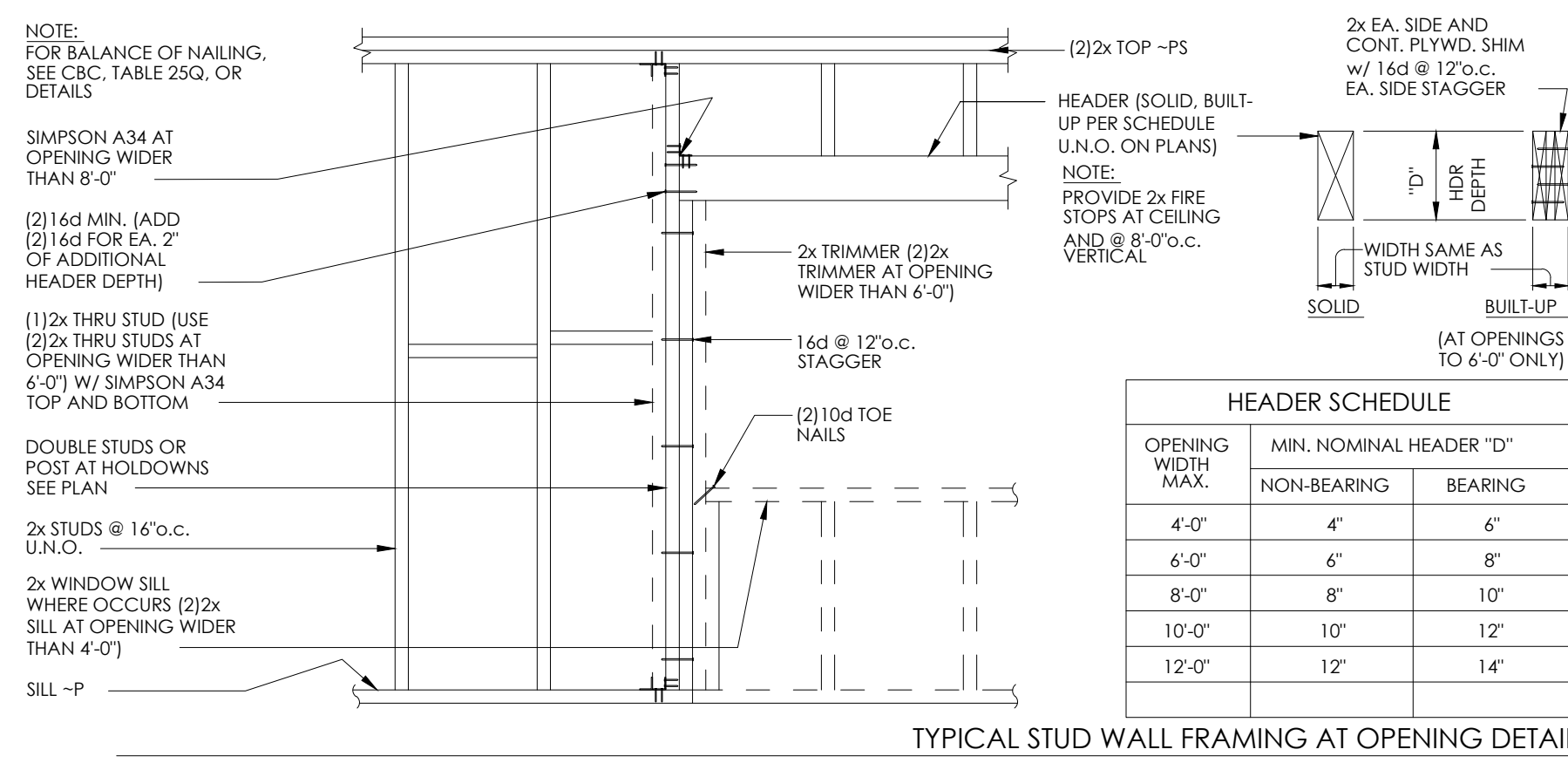
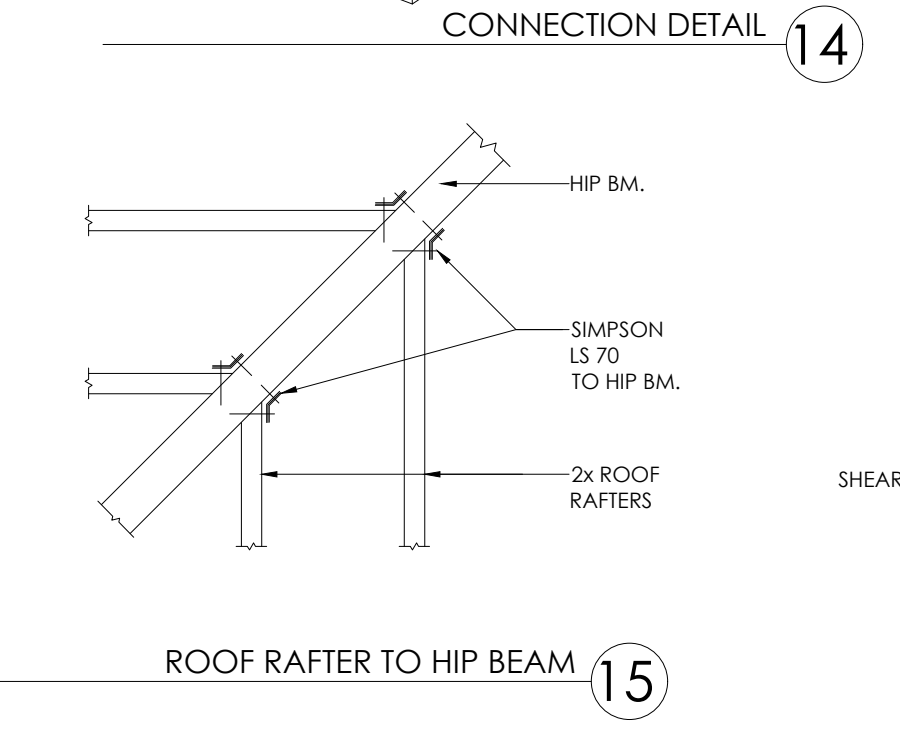
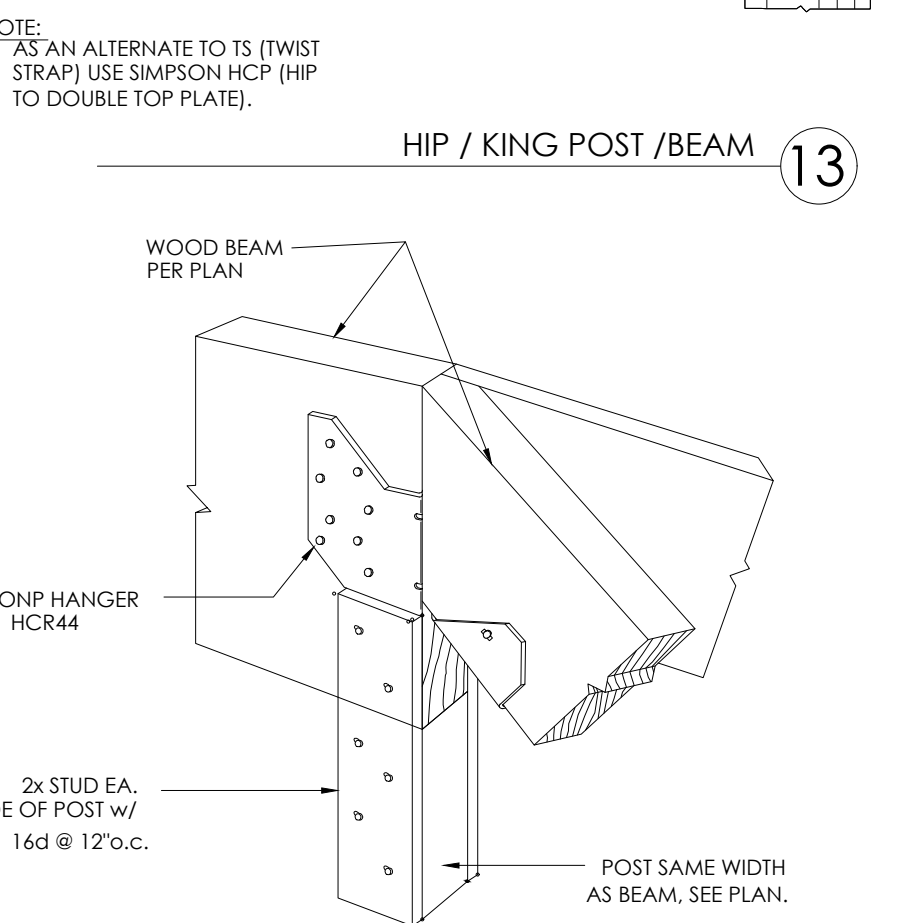
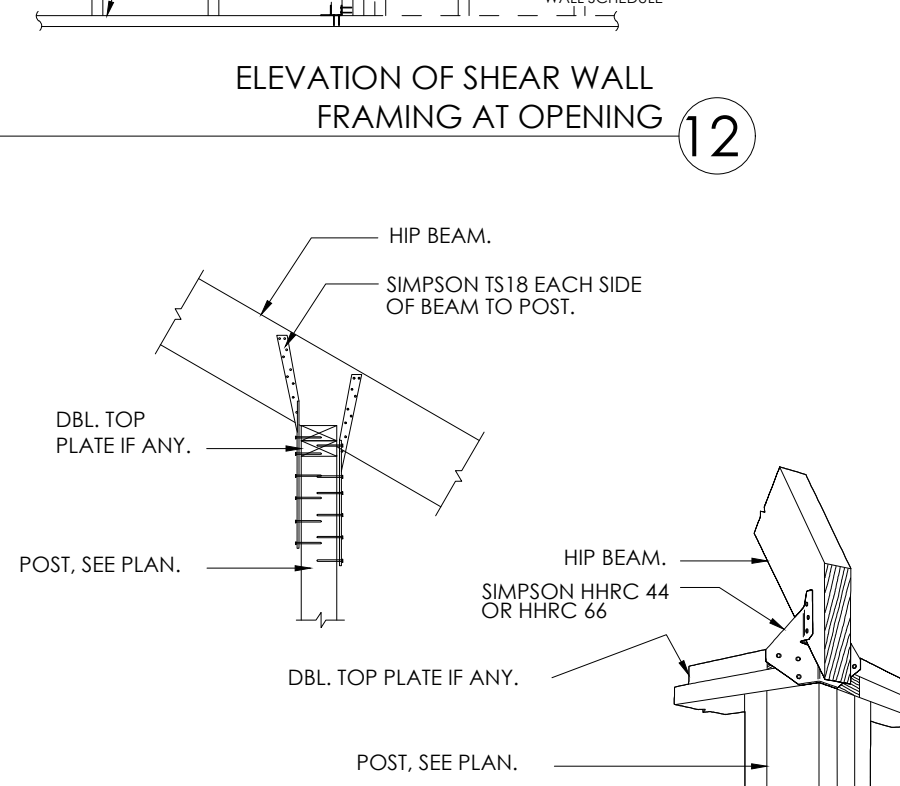
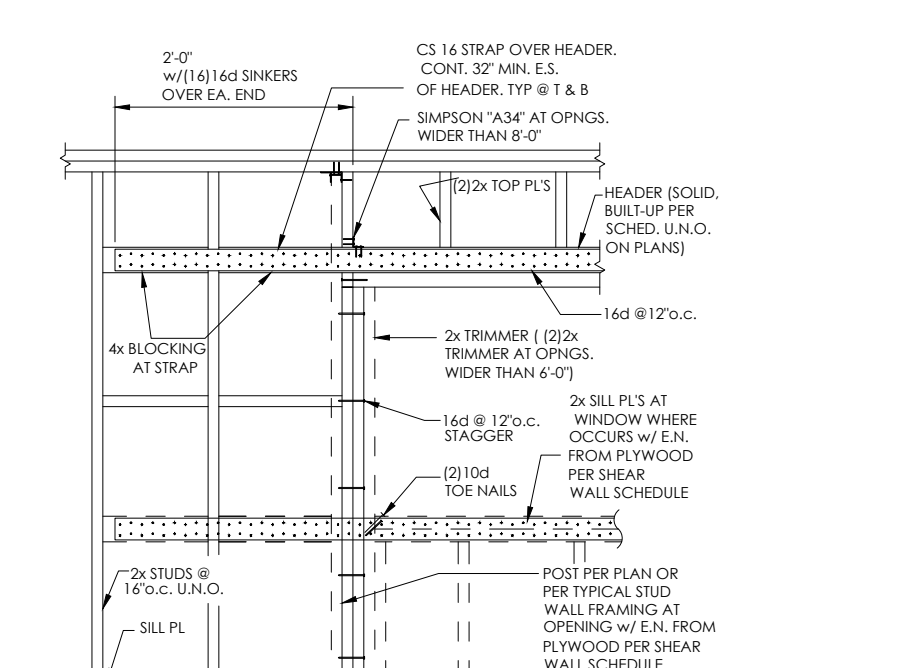
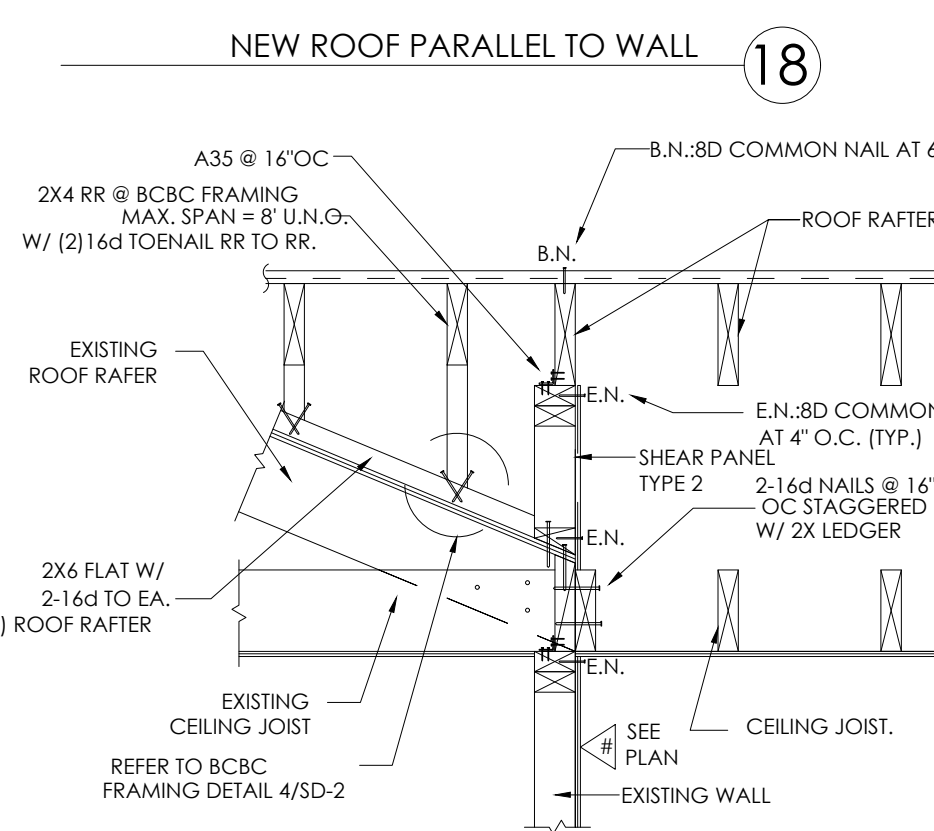
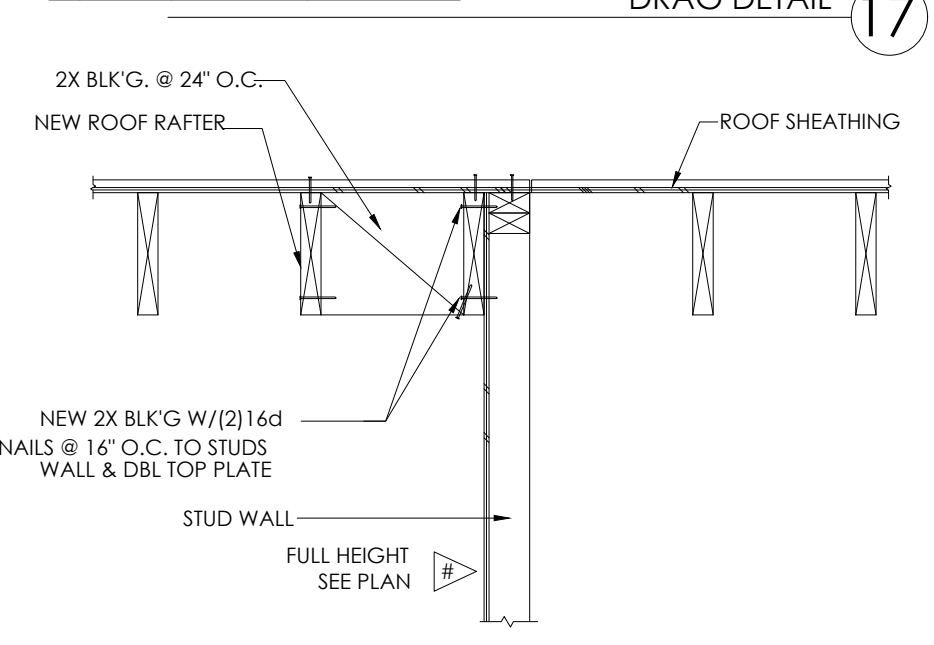
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 -JOURNEYMAN-  
 SHEET:  
 K02



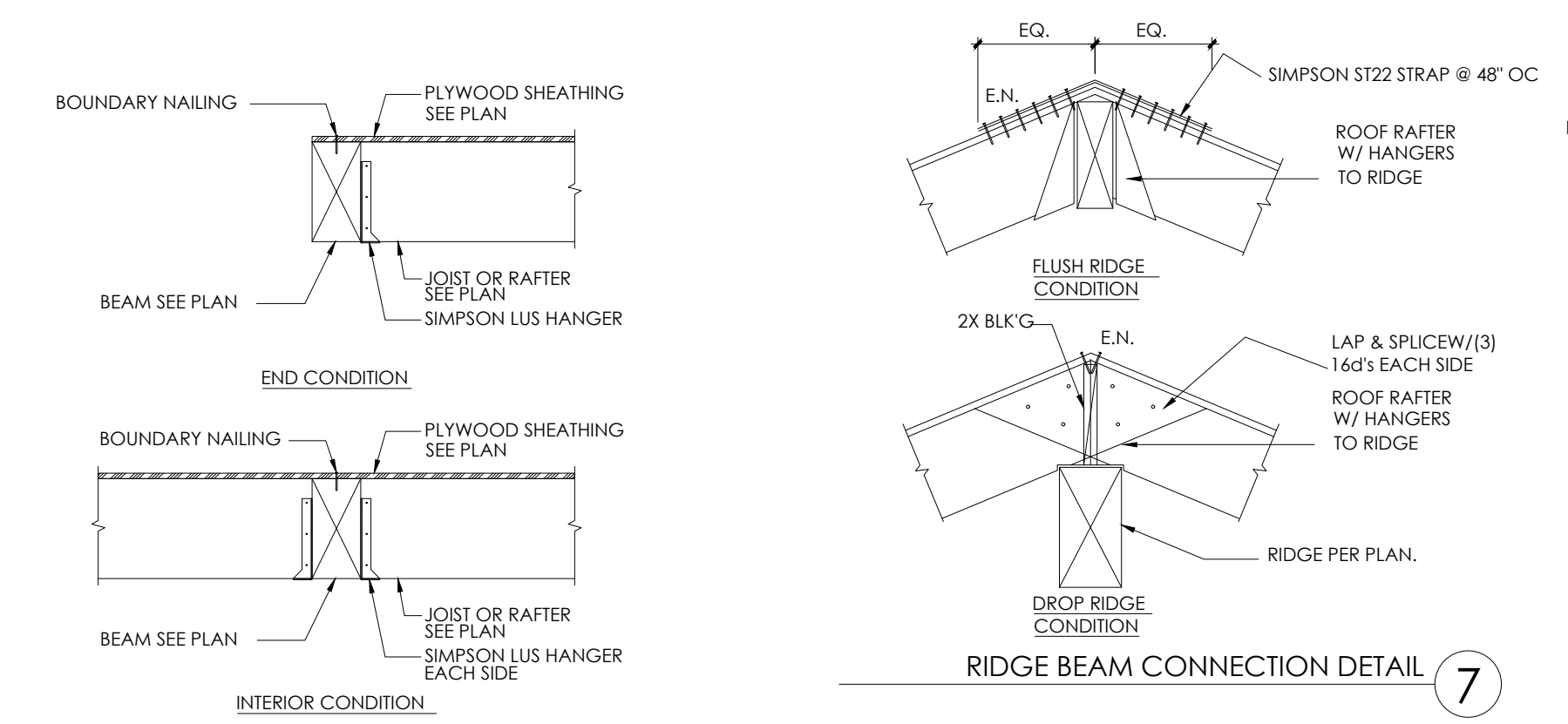
STRAP	END LENGTH	NAIL SIZE AND SPACING	CAPACITY**	
A	CS16	3'-0"	8d BOX/SINKER @ 4 1/8"	1700#
B	(2) CS16	3'-0"	8d BOX/SINKER @ 4 1/8"	3400#
C*	CMSTC16	6'-0"	16d SINKER @ 4 1/2"	4585#
D*	CMST14	6'-0"	16d SINKER @ 3 1/2"	6490#



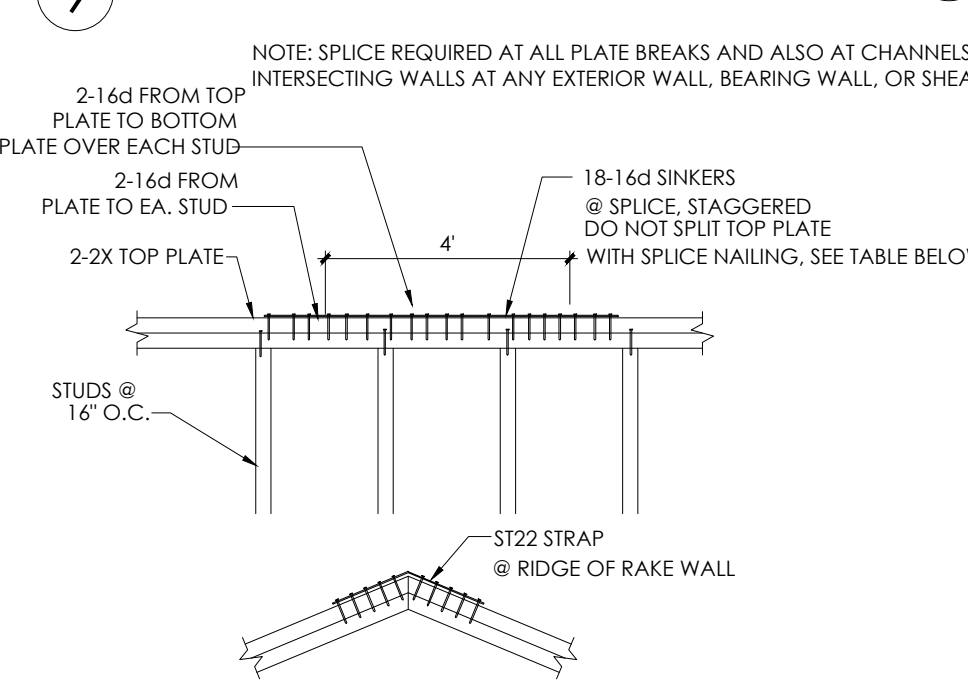
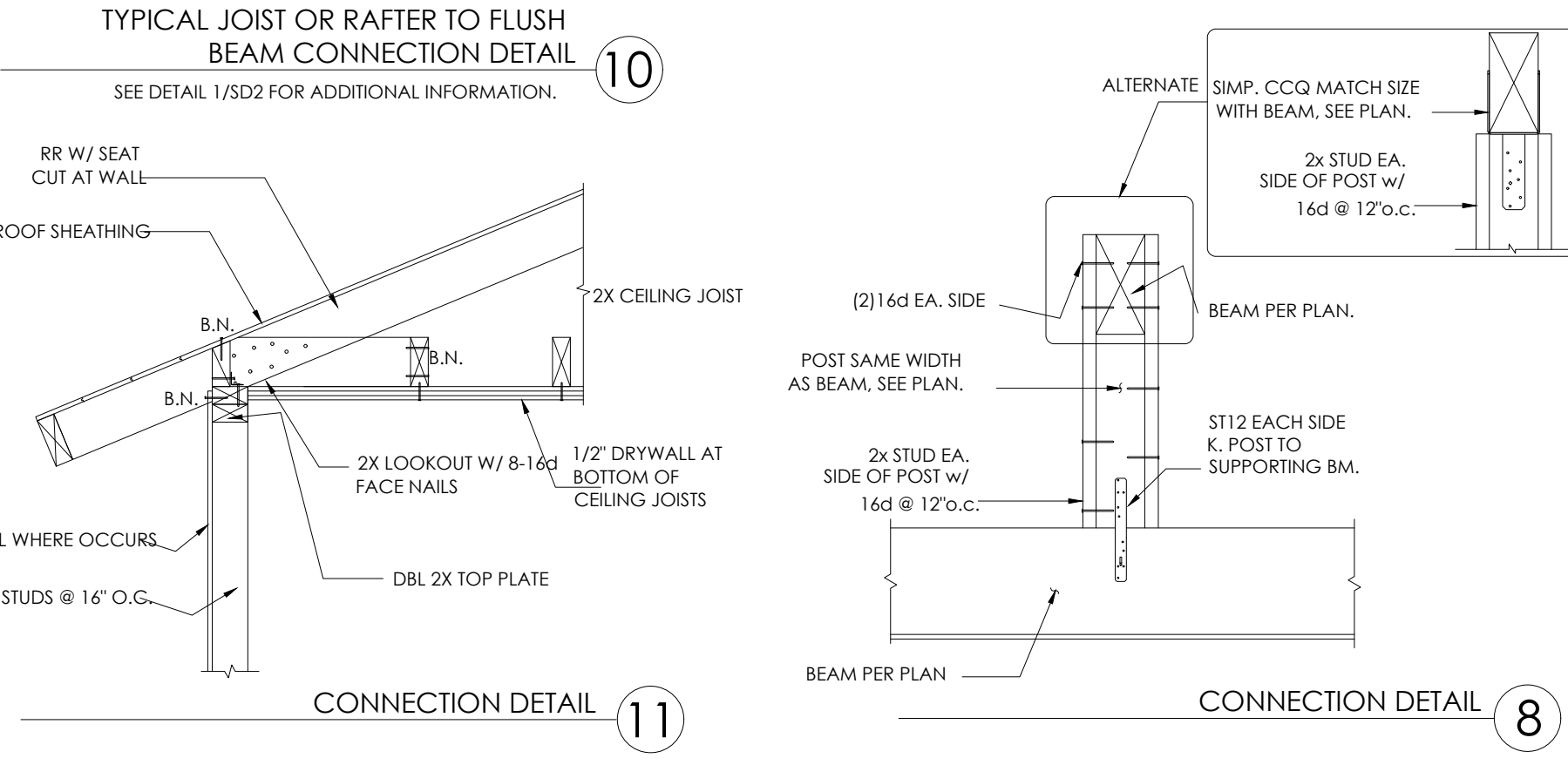
STRAP	CAPACITY**	END LENGTH
A	CS16	1700#
B*	(2) CS16	3400#



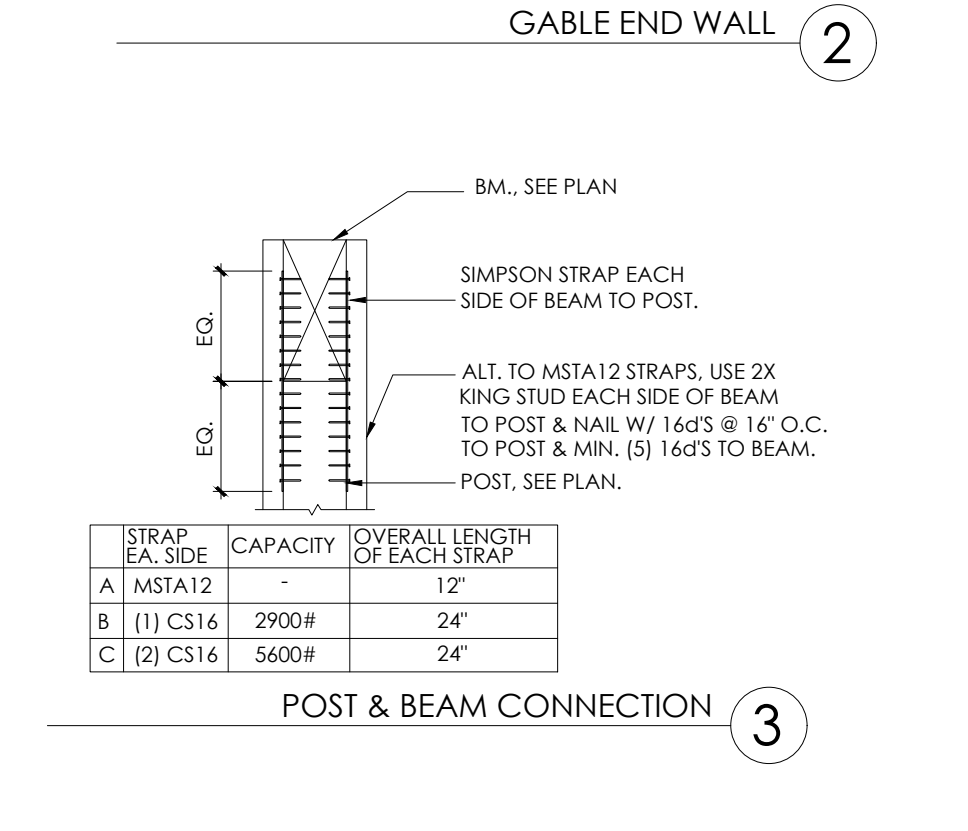
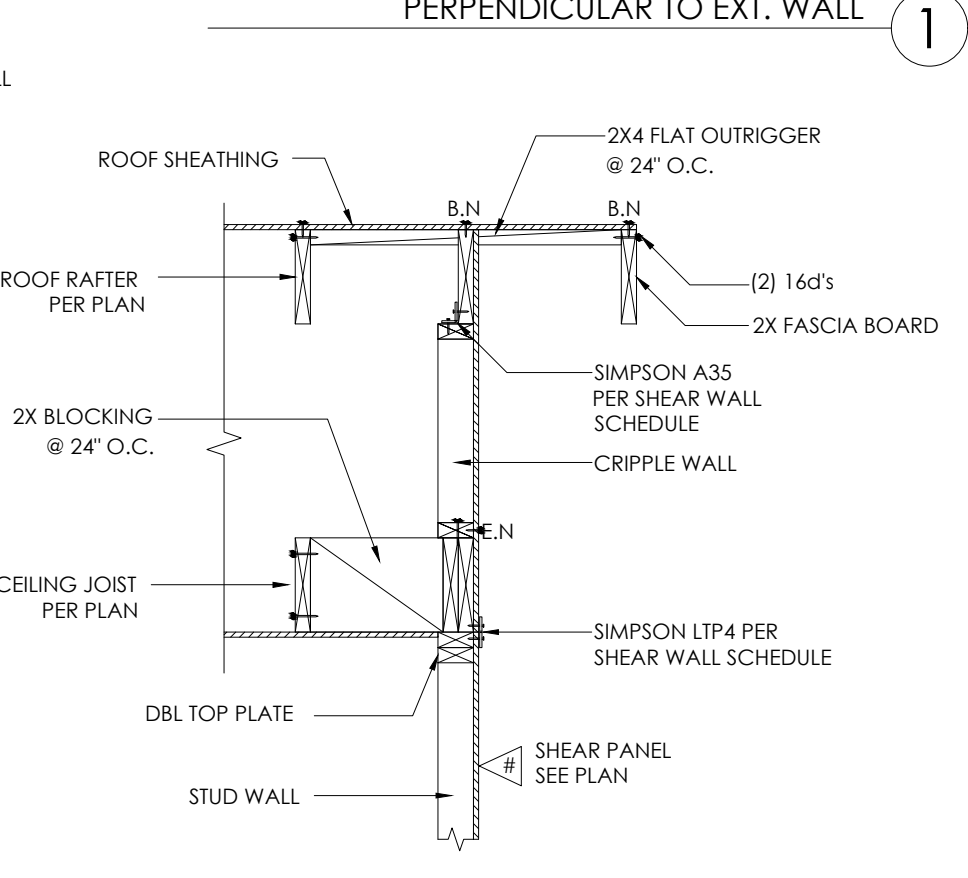
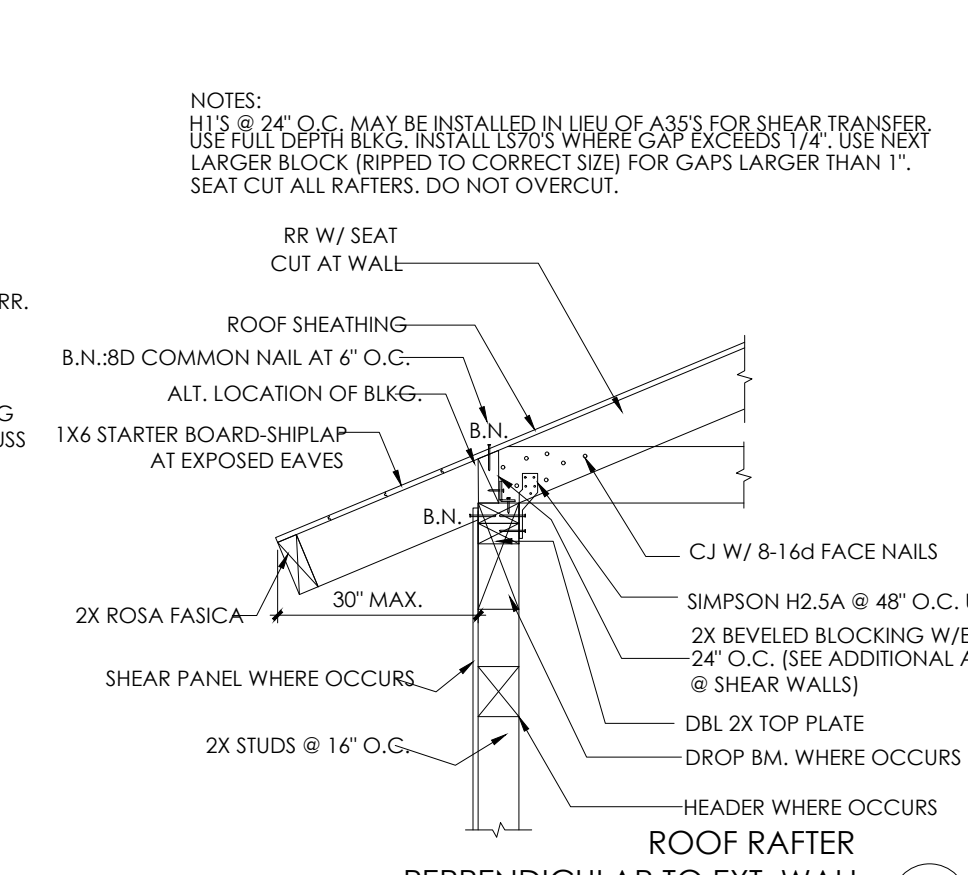
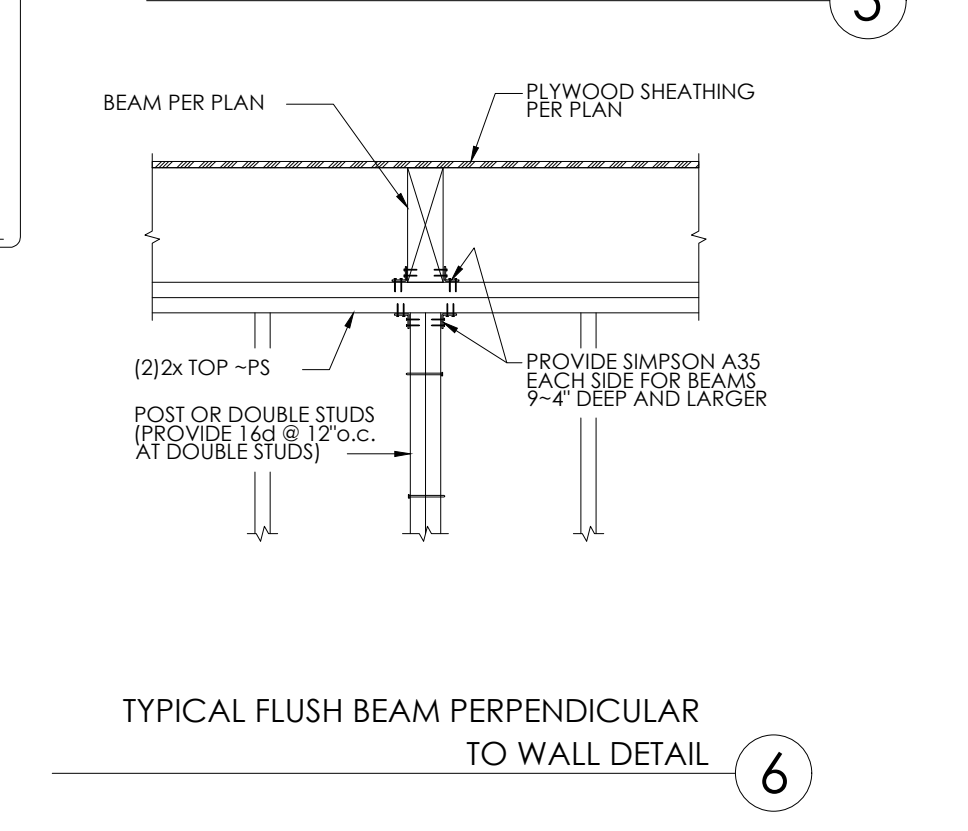
OPENING WIDTH MAX.	MIN. NOMINAL HEADER "D"	NON-BEARING	BEARING
4'-0"	4"	4"	6"
6'-0"	6"	6"	8"
8'-0"	8"	8"	10"
10'-0"	10"	10"	12"
12'-0"	12"	12"	14"



NO. OF 16d SINKER	A	B	C	D	E	F	G
MIN. PLATE LAP	10	16	22	24	32	36	42
ALT. STRAP W/ 16d SINKER	4 FT.	4 FT.	6 FT.	6 FT.	8 FT.	8 FT.	8 FT.
	ST22	ST22	ST22	ST22	MST37	MSTC52	MST60 CMST12x27



NO. OF 16d SINKER	A	B	C	D	E	F	G
MIN. PLATE LAP	10	16	22	24	32	36	42
ALT. STRAP W/ 16d SINKER	4 FT.	4 FT.	6 FT.	6 FT.	8 FT.	8 FT.	8 FT.
	ST22	ST22	ST22	ST22	MST37	MSTC52	MST60 CMST12x27



STRAP EA. SIDE	CAPACITY	OVERALL LENGTH OF EACH STRAP
A	MSTA12	12"
B	(1) CS16	24"
C	(2) CS16	5600#

NOTE: FOR BALANCE OF NAILING, SEE CBC - TABLE 25Q, OR DETAILS

(2) 16d MIN. JADD (2) 16d FOR EA. 2' OF ADDITIONAL HEADER DEPTH

(1) 2x THRU STUD (USE (2) 2x THRU STUDS AT OPNGS WIDER THAN 6'-0" W/ SIMPSON A34 TOP AND BOTTOM

DOUBLE STUDS OR POST AT HOLD-DOWNS SEE PLAN

2x STUDS @ 16" o.c. U.N.O.

2x WINDOW SILL WHERE OCCURS (2) 2x SILL AT OPNGS WIDER THAN 4'-0"

SILL - P

NOTE: PROVIDE 2x FIRE STOPS AT CEILING AND @ 8'-0" o.c. VERTICAL

HEADER (SOLID, BUILT-UP PER SCHEDULE U.N.O. ON PLANS)

NOTE: PROVIDE 2x FIRE STOPS AT CEILING AND @ 8'-0" o.c. VERTICAL

WIDTH SAME AS STUD WIDTH

BUILT-UP (AT OPNGS UP TO 6'-0" ONLY)

NOTE: H1'S @ 24" O.C. MAY BE INSTALLED IN LIEU OF A35'S FOR SHEAR TRANSFER. USE FULL DEPTH BLKG. INSTALL LS70'S WHERE GAP EXCEEDS 1/4" - USE NEXT LARGER BLOCK (RIPPED TO CORRECT SIDE) FOR GAPS LARGER THAN 1". SEAT CUT ALL RAFTERS. DO NOT OVERCUT.

RR W/ SEAT CUT AT WALL

ROOF SHEATHING

B.N., 8D COMMON NAIL AT 4" O.C.

ALT. LOCATION OF BLKG. AT EXPOSED EAVES

1x6 STARTER BOARD-SH/LAP

30" MAX.

C/J W/ 8-16d FACE NAILS

SIMPSON H2.5A @ 48" O.C. U.N.O.

2x BEVELED BLOCKING W/ E.N. & A35 @ 24" O.C. (SEE ADDITIONAL A35 REQMS. @ SHEAR WALLS)

DBL 2x TOP PLATE

DROP BM. WHERE OCCURS

2x STUDS @ 16" O.C.

HEADER WHERE OCCURS

STAMP

PROJECT FOR  
**PROPOSED RENOVATION AT**  
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NO.	REVISION

DRAWING NO.:

DATE:  
 2025-09-12

DRAWN BY: **WESTCOAST**  
 - JOURNEYMAN -

SHEET:  
**K03**



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** October 27<sup>th</sup>, 2025  
**TO:** Richard Pucci, Chief Administrative Officer  
**FROM:** Rodolfo Paras, Urban Planner

**SUBJECT: OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION BYLAW NO. 3667 & ZONING BYLAW AMENDMENT APPLICATION BYLAW NO. 3668.**

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#### **RECOMMENDATION:**

##### **THAT Council:**

- 1) Consider City of Prince Rupert Official Community Plan Amendment Bylaw No. 3667, 2025 in conjunction with its financial plan and any liquid waste management plans in effect.
- 2) Consider First and Second Readings to the City of Prince Rupert's Zoning Bylaw Amendment No. 3668, 2025.
- 3) PROCEED to the Public Hearing.

#### **REASON FOR REPORT:**

To consider proceeding with the OCP Amendment Bylaw 3667, 2025, and Zoning Amendment Bylaw No. 3668, 2025 to allow industrial development on a portion of the property legally described as BLOCK A DISTRICT LOT 8147 RANGE 5 COAST DISTRICT AS SHOWN ON PLAN EPP96352, on an unaddressed parcel south of Ridley Island Road, as shown on the context map in the attachments .

#### **BACKGROUND:**

The City has received an application for a Official Community Plan Amendment, and Zoning Bylaw Amendment for the subject property shown on Attachments 6. The applicants propose to develop a logistics facility that would include a cross-dock warehouse, container storage, truck turnaround areas, parking, a maintenance shed, and small accessory office uses.

Although the majority of the property is currently zoned M2 – General Industrial Zone, which permits this type of development, the southern portion is zoned P1 – Public Facilities Zone, which prohibits industrial uses. Refer to the Zoning amendment map in

Attachment 2 for reference. The applicants are therefore seeking to rezone the P1 portion to M2 to allow the proposed logistics use across the entire site.

Historically, this land was undeveloped Crown land that has since been transferred from the Province of British Columbia to the Metlakatla Development Corporation, with the intent of supporting future industrial development.

During the public consultation process for the current Official Community Plan (OCP), adopted by Council in 2021, this area was identified as suitable for industrial development. This intent is reflected in the OCP and shown on Map 1A. However, when the OCP was prepared, individual property boundaries had not yet been finalized, and the existing zoning boundaries (which typically correspond to property lines) did not fully align with the current parcel configuration.

## **ANALYSIS:**

### **Link to Strategic Plan**

The Strategic Plan establishes "fostering its local economic, social, cultural and environmental well-being so its residents and businesses have a sustainable and prosperous future." This rezoning would allow for private industrial development supportive of the community's economic landscape.

### **Official Community Plan (OCP)**

The subject area, located south of Kaien Island and in proximity to Ridley Island, has been identified for industrial use due to its development potential. This designation is reflected in Map 1A – Citywide Land Use Framework of the Official Community Plan (OCP), which identifies the majority of the parcel as Industrial.

All industrial development in Prince Rupert is required to obtain a Development Permit prior to construction. Through the Development Permit review process, staff will have the opportunity to ensure that the proposal aligns with the Industrial Development Permit Area Guidelines established in the OCP.

### **Referrals**

Staff conducted internal referrals with relevant City departments, including Engineering, Building, Operations, and Corporate & Legislative Services. Targeted engagement was also carried out with external agencies potentially affected by the proposal, such as the Ministry of Transportation and Infrastructure (MOTI), in accordance with the requirements of the Local Government Act.

Through the referral process, it was identified that the site is currently unserviceable by City utilities. Staff have communicated this to the applicant, who has acknowledged the limitation and provided alternative servicing solutions for potable and non-potable water, sanitary disposal, and stormwater management to meet the needs of the proposed development.

Access to the site is outside of City jurisdiction, as it connects to a Ministry of Transportation and Infrastructure–controlled highway. MOTI approval will therefore be required for any proposed site access.

To date, no significant issues have been identified through the referral or consultation process. Any further feedback will be summarized for Council consideration prior to Third Reading or during the public consultation process.

### **Environmental Considerations**

The applicant has previously engaged consultants to perform environmental assessments of the site, and all required permits and authorization must be secured prior to construction.

### **Equity Considerations**

The parcel forms part of the lands transferred to the Metlakatla Development Corporation (MDC) under the 2016 LNG agreement. MDC has identified the site's strategic location as an opportunity for industrial development and long-term economic benefit for both Metlakatla First Nation members and the Prince Rupert Community.

### **COST:**

There are no budget impacts to this recommendation.

### **CONCLUSION:**

It is recommended that the Council give first and second readings to Bylaws No. # 3667, 2025, and 3668, 2025, and proceed to public hearing.

### **Report Prepared By:**

### **Report Reviewed By:**

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Rodolfo Paras  
Urban Planner

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Richard Pucci,  
Chief Administrative Officer

### **Attachment(s):**

- Attachment 1: OCP Bylaw Amendment Bylaw No. 3667, 2025
- Attachment 2: OCP Amendment Map
- Attachment 3: Zoning Bylaw Amendment Bylaw No. 3668, 2025
- Attachment 4: Zoning Amendment Map
- Attachment 5: Letter of Intent signed by the Owner's representative
- Attachment 6: Site Survey

CITY OF PRINCE RUPERT

**OFFICIAL COMMUNITY PLAN BYLAW AMENDMENT BYLAW NO. 3667, 2025**

A BYLAW TO AMEND THE CITY OF PRINCE RUPERT OFFICIAL  
COMMUNITY PLAN BYLAW NO. 3460, 2021

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The Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

That the City of Prince Rupert Official Community Plan No. 3460, 2021 be amended as follows:

1. Amend Map 1a: City Wide Land Use Framework by changing the portion of the lot legally described "BLOCK A DISTRICT LOT 8147 RANGE 5 COAST DISTRICT AS SHOWN ON PLAN EPP96352", from Park and Open Space to Industrial as indicated in Attachment A of this Bylaw.
2. This Bylaw may be cited as "City of Prince Rupert Official Community Plan Amendment Bylaw No. 3667, 2025".

Read a First time this \_\_\_\_ day of \_\_\_\_\_, 2025.

Read a Second time this \_\_\_\_ day of \_\_\_\_\_, 2025.

Public Hearing this \_\_\_\_ day of \_\_\_\_\_, 2025.

Read a Third time this \_\_\_\_ day of \_\_\_\_\_, 2025.

Fourth and Final Reading this \_\_\_\_ day of \_\_\_\_\_, 2025.

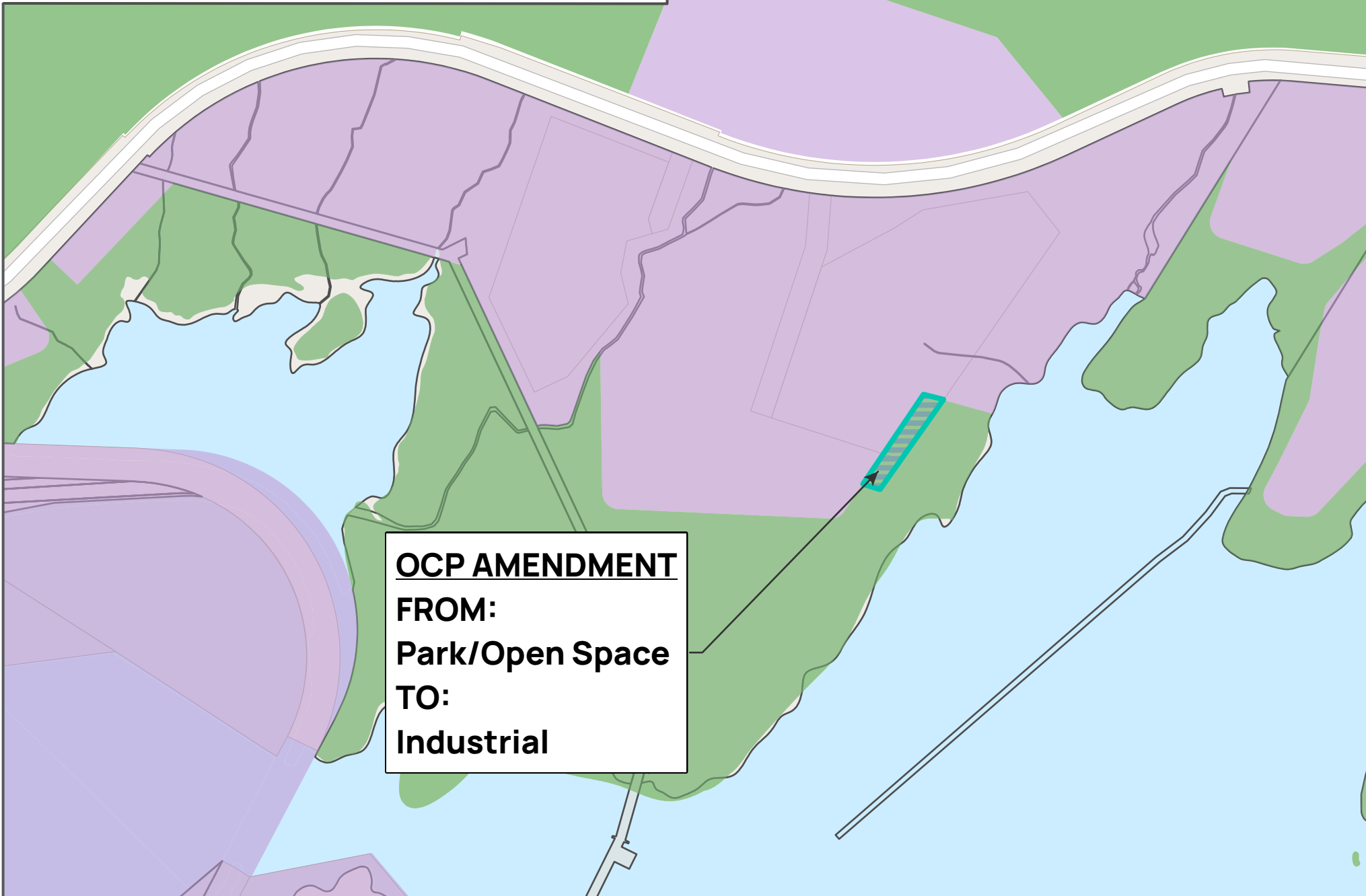
\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



**ATTACHMENT A - OCP AMENDMENT  
AMENDMENT BYLAW NO. 3667, 2025  
RIDLEY ISLAND ROAD**

Project #: ZBLA-25-01    Date: 2025 / 10 / 21



**OCP AMENDMENT**  
**FROM:**  
**Park/Open Space**  
**TO:**  
**Industrial**



**CITY OF PRINCE RUPERT**

**ZONING BYLAW AMENDMENT BYLAW NO. 3668, 2024**

A BYLAW TO AMEND CITY OF PRINCE RUPERT ZONING BYLAW NO. 3462, 2021

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**WHEREAS** the Council of the City of Prince Rupert has enacted Zoning Bylaw No. 3462, 2021 for the City of Prince Rupert; AND,

**NOW THEREFORE** the Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

1. Amend "Attachment A" Zoning Map by rezoning the portion of the lot legally described "BLOCK A DISTRICT LOT 8147 RANGE 5 COAST DISTRICT AS SHOWN ON PLAN EPP96352", as indicated in "Attachment A" of this Bylaw from P1: Public Facilities Zone to M2: General Industrial Zone.
2. This Bylaw may be cited as Prince Rupert Zoning Bylaw Amendment No. 3668, 2025.

READ A FIRST TIME this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

READ A SECOND TIME this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

READ A THIRD TIME this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Fourth and Final Reading this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

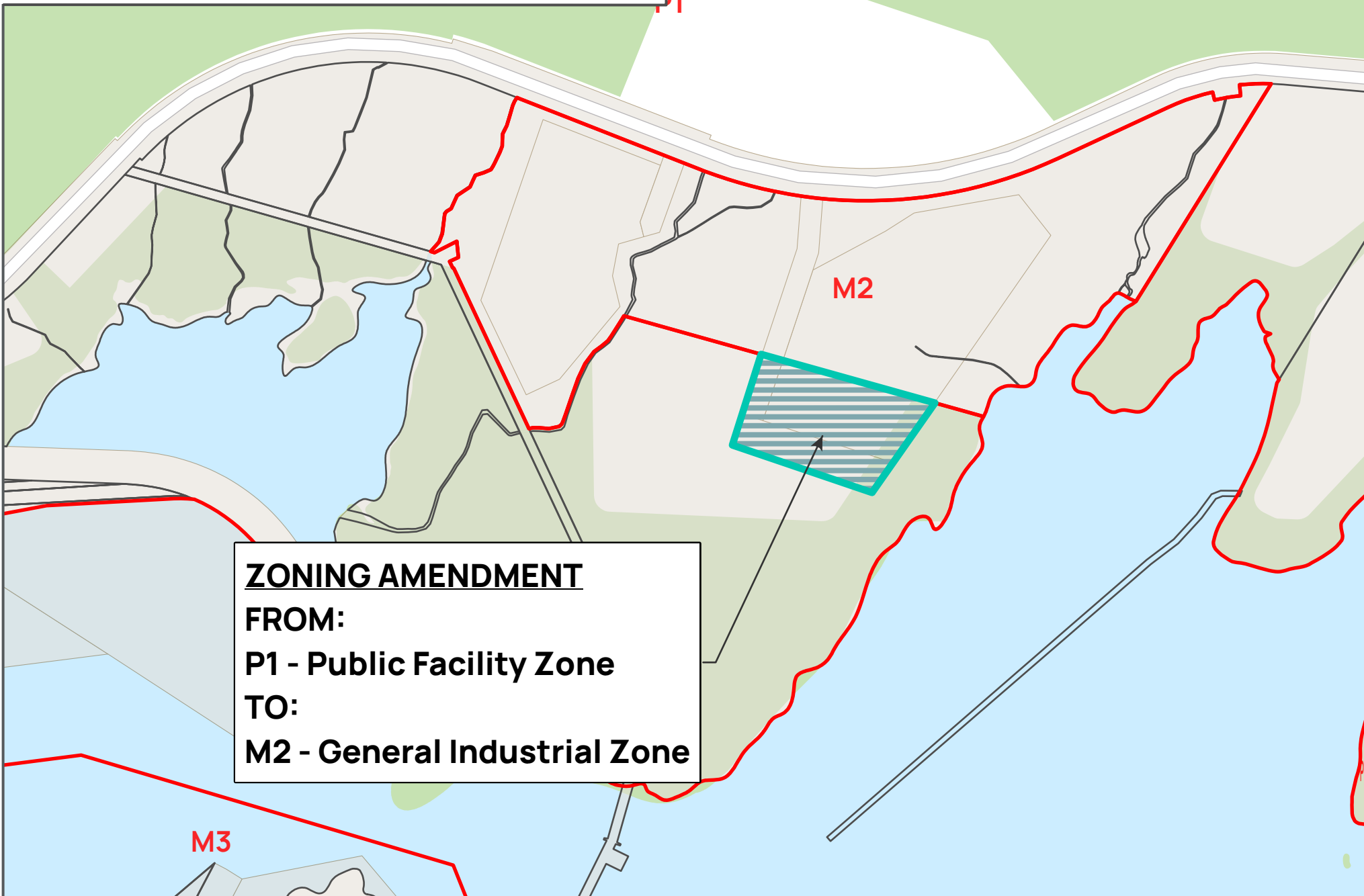
\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



**ATTACHMENT A - ZONING AMENDMENT  
AMENDMENT BYLAW NO. 3668, 2025  
RIDLEY ISLAND ROAD**

Project #: ZBLA-25-01 Date: 2025 / 10 / 21



**ZONING AMENDMENT**  
**FROM:**  
**P1 - Public Facility Zone**  
**TO:**  
**M2 - General Industrial Zone**