



REGULAR MEETING

For the **REGULAR MEETING** of Council to be held on Monday, May 27, 2024, at 7:00 pm in the Council Chambers of City Hall, 424 – 3rd Avenue West, Prince Rupert, B.C.

1. CALL TO ORDER

2. INTRODUCTION OF LATE ITEMS

3. APPROVAL OF AGENDA

Recommendation:

THAT the Agenda for the Regular Council Meeting of May 27, 2024 be adopted as presented.

4. PRESENTATION

a) Presentation from Gitmaxmak'ay Nisga Society

5. RESOLUTIONS AND/OR RECOMMENDATIONS FROM THE COMMITTEE OF THE WHOLE

6. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

7. CONSENT AGENDA

a) Council minutes

i. Minutes of the Regular Meeting of May 6, 2024;

b) Reports

ii. Report from Fire Chief Jeff Beckwith Re: Monthly Fire / Rescue Report dated May 1, 2024;

iii. Report from Urban Planner 1 Re: Community Planning Activity Report for April 2024;

c) Correspondence

iv. Request for proclamation declaring June 17, 2024 Hope Air Day;

v. Request for Letter of Support from the Prince Rupert Salmon Enhancement Society; and,

vi. Request for Letter of Support from the Regional District of Nanaimo Re: Legislative Reform Re: *Local Government Act*.

Recommendation:

THAT all items on the Consent Agenda be approved as requested.

8. REPORTS

- a) **Report from the Director of Corporate & Legislative Services / Corporate Officer Re: Appoitment of Alternate Voting Delegate - MIABC**

Recommendation:

THAT Council appoint Corinne Bomben as an alternate voting delegate on behalf of the City of Prince Rupert for the Municipal Insurance Association of BC.

- b) **Report from Planning Re: Rezoning Application ZBLA-24-02 for Lots 21-23, Parcel A (See TD 10960), Lots 26-28, Block 10, Section 1, District Lot 1992, Range 5, Coast District Plan 923.**

Recommendation:

THAT Council proceed with consideration for City of Prince Rupert Zoning Amendment Bylaw No. 3538 (C1 to C6) and City of Prince Rupert Zoning Amendment Bylaw No. 3540 (Parking, Lots 21-23, A, 26-28);

AND THAT Council require a Section 219 Covenant to restrict the use of eight (8) residetail units to senior housing.

9. BYLAWS

- a) **City of Prince Rupert Official Community Plan Amendment (Waterfront) Bylaw No. 3527, 2023.**

Recommendation:

THAT Council give Third Reading to the City of Prince Rupert Official Community Plan Amendment (Waterfront) Bylaw No. 3527, 2023 ;

- b) **City of Prince Rupert Zoning Amendment (Waterfront) Bylaw No. 3528, 2023.**

Recommendation:

THAT Council give Third Reading to the City of Prince Rupert Zoning Amendment (Waterfront) Bylaw No. 3528, 2023 ;

- c) **City of Prince Rupert Trade & Licenseing Bylaw No. 3532, 2024.**

Recommendation:

THAT Council give Fourth & Final Reading to the City of Prince Rupert Trade & Licensing Bylaw No. 3532, 2024.

d) City of Prince Rupert Addressing Bylaw No. 3537, 2024.

Recommendation:

THAT Council give Fourth & Final Reading to the City of Prince Rupert Addressing Bylaw No. 3537, 2024.

e) City of Prince Rupert Zoning Amendment (C1 to C6) Bylaw No. 3538, 2024.

Recommendation:

THAT Council give First, Second & Third Readings to the City of Prince Rupert Zoning Amendment Bylaw No. 3538, 2024.

f) City of Prince Rupert Zoning Amendment (SSMUH Parking) Bylaw No. 3539, 2024.

Recommendation:

THAT Council give Fourth & Final Reading to the City of Prince Rupert Zoning Amendment Bylaw No. 3539, 2024.

g) City of Prince Rupert Zoning Amendment (Parking – Lots 21-23, A, 26-28) Bylaw No. 3540, 2024.

Recommendation:

THAT Council give First, Second & Third Readings to the City of Prince Rupert Zoning Amendment Bylaw No. 3540, 2024.

10. COUNCIL ROUND TABLE

11. ADJOURNMENT



MINUTES

For the **REGULAR MEETING** of Council to be held on May 6, 2024, at 7:00 pm in the Council Chambers of City Hall, 424 – 3rd Avenue West, Prince Rupert, B.C.

PRESENT: Mayor H. Pond
Councillor G. Randhawa
Councillor B. Cunningham
Councillor N. Adey
Councillor T. Forster
Councillor R. Skelton-Morven
Councillor W. Niesh (Remote)

STAFF: R. Buchan, City Manager
R. Miller, Director of Corporate & Legislative Services / Corp. Officer
R. Pucci, Director of Operations & Intergovernmental Relations
C. Bomben, Chief Financial Officer
M. Pope, Director of Development Services (Remote)
R. Paras, Planner
V. Stewart, Manager of Communications, Engagement & Social Development
T. Higginson, Deputy Chief Financial Officer

1. CALL TO ORDER

The Mayor called the Regular Meeting of Council to order at 7:00 pm.

2. INTRODUCTION OF LATE ITEMS

Added as items:

- 6 . c) x Request for the Letter of Support for the Ts'msyen Prosperity Society.
- 8. f) City of Prince Rupert 2024 Five Year Financial Plan Amendment Bylaw No. 3529, 2024.
- 8. g) City of Prince Rupert 2024 Property Tax Bylaw No. 3530, 2024.

3. APPROVAL OF AGENDA

MOVED by Councillor Randhawa and seconded by Councillor Forster THAT the Agenda for the Regular Council Meeting of May 6, 2024, be adopted as presented and amended.

CARRIED

4. PRESENTATION

- a) **Presentation from the Director of Operations and Intergovernmental Relations
Re: Infrastructure Replacement Program – Y1 Corridors**

5. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

Letter from Emily Kawaguchi Re: Short-term Rental Bylaw.

6. CONSENT AGENDA

a) Council minutes

- i. Minutes of the Regular Meeting of April 22, 2024;
- ii. Minutes of the Committee of the Whole Meeting of April 22, 2024;
- iii. Minutes of the Special Regular Meeting of April 29, 2024.

b) Reports

- iv. Report from Director of Development Services Re: Gitmaxma'kay Nisga's Society – Request for Letter of Support in Principle;
- v. Report from Director of Development Services Re: Key Corp & M'akola Development Services – Request for Letter of Support in Principle;
- vi. Report from Director of Development Services Re: Waap Housing Society– Request for Letter of Support in Principle;
- vii. Report from Director of Operations & Intergovernmental Relations Re: Asset Management Planning Program Fund Application.

c) Correspondence

- viii. Request for proclamation about National Nurses Week;

Councillor Forster left the meeting: at 7:21 pm

MOVED by Councillor Skelton-Morven and seconded by Councillor Cunningham THAT Council direct staff to provide the proclamation for National Nurses Week.

CARRIED

- ix. Request for proclamation for May 16, 2024, for Moose Hide Campaign Day;

MOVED by Councillor Cunningham and seconded by Councillor Forster THAT Council all items on the Consent Agenda be accepted as noted and filed.

CARRIED

Councillor Forster returned to the meeting at 7:22 pm

Councillor Skelton-Morven left the meeting at 7:22 pm

- x. Request for the Letter of Support for the Ts'msyen Prosperity Society.

MOVED by Councillor Forster and seconded by Councillor Adey THAT Council direct staff to provide the letter of support for the Ts'msyen Prosperity Society.

CARRIED

Councillor Skelton-Morven returned to the meeting at 7:23 pm

7. REPORTS

- a) **Report from Planning Re: City of Prince Rupert Rezoning Application ZBLA-24-01 for Lots 11 – 14, Block 24, Section 1, District Lot 251, Range 5, Coast District Plan 923 (Zoning Amendment Bylaw No. 3531).**

MOVED by Councillor Adey and seconded by Councillor Forster THAT Council proceed with consideration.

CARRIED

- b) **Report from Planning Re: City of Prince Rupert Trade Licensing Bylaw No. 3532, 2024.**

MOVED by Councillor Forster and seconded by Councillor Cunningham THAT Council proceed with consideration.

CARRIED

- c) **Report from Planning Re: City of Prince Rupert Development Procedures Bylaw No. 3533, 2024.**

MOVED by Councillor Adey and seconded by Councillor Forster THAT Council proceed with consideration.

CARRIED

Amended by Councillor Niesh and seconded by Councillor Cunningham.

CARRIED

- d) **Report from Planning Re: City of Prince Rupert Municipal Ticketing Information Bylaw No. 3534, 2024.**

MOVED by Councillor Skelton-Morven and seconded by Councillor Cunningham THAT Council proceed with consideration.

CARRIED

- e) **Report from Planning Re: City of Prince Rupert Zoning Amendment Bylaw No. 3535.**

MOVED by Councillor Cunningham and seconded by Councillor Forster THAT Council proceed with changes to allow st rentals in the primary residence.

CARRIED

MOVED by Councillor Skelton-Morven and seconded by Councillor Forster THAT Council proceed with consideration.

CARRIED

- f) **Report from the Chief Financial Officer Re: 2023 Audited Financial Statements**

MOVED by Councillor Skelton-Morven and seconded by Councillor Cunningham

THAT Council accepts the 2023 Audited Financial Statements as presented.

CARRIED

8. BYLAWS

a) City of Prince Rupert Rezoning Amendment Bylaw No. 3531, 2024.

MOVED by Councillor Cunningham and seconded by Councillor Adey THAT Council give First and Second Readings to the City of Prince Rupert Zoning Bylaw Amendment Bylaw No. 3531, 2024;

AND THAT Council proceed to the Public Hearing.

b) City of Prince Rupert Trade and Licencing Bylaw No. 3532, 2024.

MOVED by Councillor Cunningham and seconded by Councillor Forster THAT Council give First, Second and Third Reading to the City of Prince Rupert Trade or Business Licence No. 3532, 2024.

c) City of Prince Rupert Development Procedures Bylaw No, 3533, 2024.

MOVED by Councillor Forster and seconded by Councillor Randhawa THAT Council give First, Second and Third Reading to the City of Prince Rupert Development Procedures Bylaw no. 3533, 2024 and subject to removal as amended.

d) City of Prince Rupert Municipal Ticketing Information Amendment Bylaw No. 3534, 2024.

MOVED by Councillor Randhawa and seconded by Councillor Adey THAT Council give First, Second and Third Reading to the City of Prince Rupert Municipal Ticketing Information Amendment Bylaw No. 3534, 2024.

e) City of Prince Rupert Rezoning Amendment Bylaw No. 3535, 2024.

MOVED by Councillor Skelton-Morven and seconded by Councillor Cunningham THAT Council give First and Second Readings to the City of Prince Rupert Zoning Bylaw Amendment Bylaw No. 3535, 2024 as amended;

AND THAT Council proceed to the Public Hearing.

f) City of Prince Rupert 2024 Five Year Financial Plan Amendment Bylaw No. 3529, 2024.

MOVED by Councillor Adey and seconded by Councillor Cunningham THAT Council give Fourth and Final Readings to the City of Prince Rupert 2024 Five Year Financial Plan Amendment Bylaw No. 3529, 2024;

g) City of Prince Rupert 2024 Property Tax Bylaw No. 3530, 2024.

MOVED by Councillor Cunningham and seconded by Councillor Skelton-Morven THAT Council give First and Second Readings to the City of Prince Rupert Zoning

Bylaw Amendment Bylaw No. 3535, 2024;

AND THAT Council proceed to the Public Hearing.

9. COUNCIL ROUND TABLE

10. ADJOURNMENT to Closed Meeting under Section 90 of the Community Charter to consider items relating to one of the following:

90.1 (e) the acquisition, disposition, or expropriation of land or improvements if the council considers that disclosure could reasonably be expected to harm the municipality's interests.

MOVED by Councillor Adey and seconded by Councillor Forster THAT the meeting be adjourned to Closed at 8:24 p.m.

CARRIED

Confirmed:

MAYOR

Certified Correct:

DIRECTOR OF CORPORATE
& LEGISLATIVE SERVICES/ CORP. OFFICER



REPORT

May 1, 2024

TO: City Manager Rob Buchan
FROM: Fire Chief Jeff Beckwith
SUBJECT: Monthly Fire / Rescue Report – May 1, 2024

During the month of May 2024, the Prince Rupert Fire Rescue Department responded to 48 emergency incidents. Of these incidents, there were 4 motor vehicle incidents (MVI) and 7 fires, with 2 properties sustaining significant damage due to fire.

Location	Property Value	Property Loss
1841 10 th Ave E	\$485,000	\$150,000
559 McKay St	\$7,675,000	\$225,735
Totals:	\$8 160 000	\$375 735

INCIDENT COMPARISON

April	2024	48 Incidents
April	2023	70 Incidents
April	2022	109 Incidents
April	2021	102 Incidents
April	2020	60 Incidents
April	2019	98 Incidents

FIRE SERVICE ACT INSPECTIONS

During the month of April Fire Rescue Department personnel conducted Fire Service Act inspections within 4 public buildings in Prince Rupert

INSPECTION COMPARISON

April	2024	4 Public Building Inspections
April	2023	4 Public Building Inspections
April	2022	0 Public Building Inspections
April	2021	1 Public Building Inspections
April	2020	3 Public Building Inspections
April	2019	58 Public Building Inspections

DEPARTMENT ACTIVITIES AND PROGRAMS

Fire Prevention and Public Education:

Two hall tours were completed during the month of April.

Training & Upgrading:

During the month of April, 37 training sessions were completed. These included Street Familiarization, Pump Ops, Driver Training, Aerial Ops, RIT Training, Hose Deploy, First Responder, MSA Packs, and Marine Docks & Boat Fires.

Daily Apparatus & Equipment Maintenance:

Daily inspections and maintenance were conducted on all equipment and apparatus and they remain in working condition.

911 DISPATCH SUMMARY

The following is a summary of emergency calls received and handled by the 911 Operators/Dispatchers.

PR ADMIN	308
PR FIRE	33
PR AMB	161
PR EHS	25
PR RCMP	160
PR ALARM	15

PED ADMIN	1
PED FIRE	0
PED AMB	0
PED EHS	0
PED RCMP	2
PED ALARM	1

OTH FIRE	1
OTH AMB	1
OTH EHS	0
OTH RCMP	3

CITY	127
H/U	83
WRONG #	35
R.C.C.	0
CITYWEST	7
311	0

Total: 963

Respectfully Submitted



Jeff Beckwith, Fire Chief



REPORT TO COUNCIL
Regular Meeting of Council

DATE: May 27th, 2024
TO: Robert Buchan, City Manager
FROM: Rodolfo Paras, Urban Planner I

SUBJECT: COMMUNITY PLANNING ACTIVITY REPORT - APRIL 2024

RECOMMENDATION:

THAT Council receive and file the Community Plans Activity Report

REASON FOR REPORT:

This report provides an update on the community plans under development in the City of Prince Rupert to Council.

UPDATES:

Complete Communities Framework (Grant Funded): Urban Systems (the consultants) are preparing the materials necessary to commence the project's Public engagement with staff support. On May 29th, the consultants will host a workshop with staff and a Public House for this project to gather information from the community. In addition, the consultants have reached to local committees to collect other relevant information.

Climate Action Plan (Grant-Funded): Under staff supervision, the consultants, Sustainability Solutions Group (SSG), have taken the information from the different engagement events and through different channels, including the Rupert Talks website. SSG is in the process of addressing gaps in knowledge found during the engagement activities. In addition, a Best Practices report was drafted to help guide the priorities for the plan by ensuring that they are using the most effective methods available and that they are looking at the parameters and variables most relevant for Prince Rupert.

Social Development Plan (Grant Funded): The consultant's team (Urban Matters), have completed the assessment and provided draft reports to the City, which will be before Council in May or June.

Report Prepared By:

Report Reviewed By:

Rodolfo Paras Diaz,
Urban Planner I

Robert Buchan,
City Manager

Olena Moshko

From: Phoebe Lazier <phoebe.lazier@bcruralhealth.org>
Sent: Wednesday, May 1, 2024 9:47 AM
Subject: Declaring June 17th Hope Air Day
Attachments: Municipal Proclamation BC.docx; HA_fllpg_BC_8.375x10.875_CMYK_final (1).pdf

Categories: Olena

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

I am reaching out to you today to request your assistance and support for Hope Air.

Hope Air provides essential services to rural and remote communities across the country and the majority of their work is done here in British Columbia. Not only does Hope Air provide air transportation to patients and their caregivers but also provides accommodations, meals and ground transportation. Their charitable services need to continue and to be enhanced, to ensure equitable access to care for all of us who are forced to leave our communities for care and treatments.

In 2023, Hope Air supported over 14,100 travel arrangements for patients across British Columbia. Hope Air had an infusion of support from the Government of B.C. to support the needs of cancer patients and steadfast support from the Provincial Health Service Authority, community foundations, and corporate and individual donors. And yet, the demand continues to soar.

The BC Rural Health Network has been working closely with Hope Air and promoting their services to many who haven't been aware of their significant and essential services. Their no patient left behind policy could be jeopardized if their funding is not sufficient or stable. Over the past year, we have been promoting the services of Hope Air and as people become aware of what services they can provide, the more these services are utilized.

On **June 17th**, Hope Air is working with municipalities across the province to declare this day, "**Hope Air Day**" in British Columbia. They are choosing this day to shine the spotlight on the unique medical travel needs of thousands of residents each year. In turn, we must continue to bring awareness to the issue of equitable access to health care for all. I am writing to request your consideration that your Municipality adopt the attached proclamation declaring June 17th, Hope Air Day. We would be grateful for this support, in joining cities and towns across B.C. to recognize the impact of Hope Air.

I have attached a draft of the proclamation for your review.

Thank you for your time and consideration. Please let me know if you have any questions regarding this proclamation.

Yours in health and wellness,

Phoebe Lazier

Community Engagement

BC Rural Health Network

Phoebe Lazier || She/Her || Community Outreach || **BC Rural Health Network** ||

|| Cell: (250) 505-3049 || <https://bcruralhealth.org/> ||  phoebe.lazier@bcruralhealth.org || LinkedIn

The BCRHN is the healthcare voice of the rural residents of British Columbia and seeks better health outcomes for all people, through solutions-based approaches with governments, and information provision to residents.

Municipal Proclamation

Hope Air Day

June 17, 2024

Whereas, access to healthcare is a fundamental right for all citizens, regardless of their geographic location;

Whereas, Hope Air, a charitable organization, has been tirelessly dedicated to providing access to healthcare by facilitating free flights and other services for patients living in rural and underserved communities in British Columbia, ensuring they can receive vital medical treatment regardless of distance or financial means;

Whereas, Hope Air has been instrumental in bridging the gap between smaller communities and hospitals far from home, reducing the barriers that often prevent individuals from reaching medical care;

Whereas, the impact of Hope Air extends beyond the individual patients served, positively affecting families, communities, and the healthcare system as a whole by promoting wellness and reducing the burden of untreated medical conditions;

Whereas, the compassion, dedication, and commitment demonstrated by Hope Air and its volunteers embody the spirit of community and the belief in the inherent value of every individual's well-being;

Now, therefore, be it proclaimed by the [Name of Municipality] that June 17th, 2024, shall be known as "Hope Air Day" in recognition of the invaluable contributions made by Hope Air to the health and well-being of individuals in British Columbia's remote, rural and underserved communities.

We urge all citizens to join us in celebrating Hope Air Day and to reflect on the significance of ensuring equitable access to healthcare for all members of our society. Let us reaffirm our commitment to supporting initiatives that promote health equity and extend our gratitude to Hope Air for their unwavering dedication to serving those in need.

Signed,

[Mayor's Signature]

[Mayor's Name]

Mayor of [Name of Municipality]

[Seal of the Municipality]

Heather MacRae

From: Colin Masson <colinwmasson1@gmail.com>
Sent: Wednesday, May 22, 2024 11:11 AM
To: City Hall
Subject: Seeking Letter of Support from City Of Prince Rupert

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mayor Pond:

It has been some time since we met with you to provide an update on our efforts to redevelop the Oldfield Creek Salmon Hatchery since the water supply was wiped out in 2020. Our Society has not been idle and much has happened about which we'd be pleased to provide you and the Council a personal update at your convenience. In the meantime however, we are following up on your much appreciated offer of support. As we discussed, the search for an alternate site has been ongoing and we have now focused on a site adjacent to Wolf Creek within the Port Edward watershed. A site development assessment was recently completed and we will be initiating a land tenure application and detailed hatchery building design work shortly.

You will appreciate how this process takes time and there is much concern regarding the protracted delay in salmon enhancement activities - especially for the Kloya River chinook stock which desperately needs ongoing conservation. We have fleshed out a temporary enhancement plan with Department of Fisheries officials and believe a letter of support from the City of Prince Rupert would be most helpful in securing approval for this work.

I have provided a draft letter for your consideration (see below). Please feel free to call and discuss this further if you have any questions. Our proposal would require an incubation box for Kloya chinook to be temporarily installed below the Wolf Creek intake dam with a flexible pipeline providing the required flow. The emergent fry would be subsequently transported for short-term rearing to Prudhomme Lake, well above the Kloya Dam spillway. The rearing would be conducted in a temporary netpen for a period of 4 - 8 weeks prior to releasing the fry to match the natural fry migration timing. Further to our long-standing relationship with the City, it is our understanding that Prince Rupert is responsible for the dam and spillway and thus we are requesting your support for this activity. This project is being supported by the Department of Fisheries and Oceans and of course we have recently discussed with Port Edward their support for the temporary incubation at Wolf Creek.

Timely support in principle from the City of Prince Rupert would be key to the application for temporary salmon enhancement permit for Kloya Chinook during the hatchery rebuild phase (anticipate to be 2-3 years). As a community enhancement society working with the Department of Fisheries and Oceans we would assume any liability associated with the installation and operation of a temporary netpen in Prudhomme Lake. Once a temporary enhancement permit is secured the Society would meet with appropriate City staff to discuss and review a specific workplan to ensure full communication and to address any concerns.

Your prompt attention to our request is greatly appreciated given the time sensitive nature of our application for temporary salmon enhancement approval to the agencies.

Sincerely
Beth Armstrong-Bewick
President , Prince Rupert Salmon Enhancement Society

DRAFT LETTER : City of Prince Rupert to PRSES

Subject: City of Prince Rupert support for PRSES conservation activities for Kloya Chinook.

This letter is to confirm our support for the proposed temporary enhancement plan for Kloya River chinook. The City of prince Rupert is in full support of the redevelopment of the Oldfield community salmon enhancement facility and appreciate that it takes time to develop such a facility. However, maintaining important conservation work of local salmon stocks is critically important for us and we are committed to enabling those activities.

In that regard, your proposal for a temporary strategy to maintain the enhancement of Kloya Chinook would be strongly endorsed, including the transporting of enhanced Kloya chinook fry for short-term rearing in Prudhomme Lake above the Kloya Dam. Continued regular and open communication with yourselves and DFO and our identified staff would be necessary as this project unfolds.

Sincerely
(Chief Administration Officer or Mayor or)

To: Douglas Holmes <DHolmes@rdn.bc.ca>

Subject: Legislative Reform Initiative

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, fellow CAOs.

As many of you will have seen, the Regional District of Nanaimo (RDN) has been leading, in collaboration with some of you, the conversation for a proposed reform/rewrite of the *Local Government Act*.

We have sponsored several sessions on this topic at both UBCM and AVICC, (Association of Vancouver Island and Coastal Communities). This work has been generously supported (including on the panel sessions) by Don Lidstone.

I am writing today to invite your local government to endorse this work through writing a letter of support. RDN Chair Vanessa Craig has sent a letter to your Mayors and Chairs making this request and I have attached that letter with background materials as well as a draft letter of support for you to use, should that be helpful. A sincere thank you to those local governments who have provided letters of support already.

Nothing will change if this matter is not seen to have political support around the Province. Letters from your local governments will help to demonstrate that support.

We have heard concerns that new legislation will mean more work at a time when we are already very busy. I wish to remind us all that our legislation is *enabling*, meaning that our Local Governments access the powers that our elected officials have decided are useful to the constituencies they serve. We sincerely hope that new and more flexible powers are made available through legislative reform; powers that our local governments *can* access, but don't have to.

Thank you for your consideration in your already-busy day.

Very best regards,
Doug.

Douglas Holmes, BBA, CPA, CA (he/him/his) [Why do I share pronouns?](#)

Chief Administrative Officer

Regional District of Nanaimo

6300 Hammond Bay Road, Nanaimo, BC V9T 6N2

C: 250-268-2271 | Email: dholmes@rdn.bc.ca

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We acknowledge that for thousands of years the Coast Salish First Nations have been deeply connected to the territories where we now work.

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Re: Legislative Reform Initiative

I am writing to you on behalf of [regional district or municipality Board/Council] regarding the proposed reform of the *Local Government Act* (LGA), a topic that was considered in a panel discussion at the 2023 Union of BC Municipalities (UBCM) Annual Convention. I understand that the Regional District of Nanaimo is exploring the potential formation of a working group through the UBCM. This letter serves to express our support and encouragement for this.

A comprehensive review and reform of the *Local Government Act* has long been needed. Although the Ministry of Municipal Affairs has made significant incremental changes to the legislation, more substantial modernization of the LGA is required to provide municipalities and regional districts with sufficient tools and/or authority to meet their expanding responsibilities and challenges. In addition, the social, political, and economic environments that local governments operate within continue to evolve in areas such as climate change, environmental stewardship, and a recognition of the importance of First Nations' participation in regional governance. These changes should be reflected in modernized legislation.

[Regional district or municipality] supports the Regional District of Nanaimo's request that the UBCM Executive form a working group to steer this important initiative. We are eager to see this initiative continue momentum and support the creation of a process to organize and enable broad and inclusive consultation to work toward a modernized legislative scheme.



REPORT TO COUNCIL

Regular Meeting of Council

DATE: May 27, 2024
TO: Robert Buchan, City Manager
FROM: Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer

SUBJECT: APPOINTMENT OF ALTERNATE VOTING DELEGATE - MIABC

RECOMMENDATION:

THAT Council appoint Corinne Bomben as an alternate voting delegate on behalf of the City of Prince Rupert for the Municipal Insurance Association of BC.

REASON FOR REPORT:

A council resolution is required to add an alternate voting delegate for the Municipal Insurance Association of BC.

BACKGROUND:

The City appoints the City Manager as a Voting Delegate on behalf of the City to represent the City's interests with respect to the Municipal Insurance Association of BC (MIABC). An alternate can be appointed to act in the Voting Delegate's stead.

ANALYSIS:

MIABC holds its Annual General Meeting during the week of the Union of British Columbia Municipalities Convention in September. Voting delegates participate in the AGM and vote during the meeting. To ensure adequate representation at the AGM MIABC is recommending the appointment of alternate voting delegates where vacancies exist.

Considering insurance risk falls under the Finance Officers portfolio, it is reasonable to appoint the Chief Financial Officer.

LINK TO STRATEGIC PLAN:

Approving the alternate voting delegate supports the goal of providing services to cost effectively provide for the needs of residents.

Report Prepared By:

Report Reviewed By:

Rosa Miller,
Director of Corporate & Legislative
Services/Corporate Officer

Robert Buchan,
City Manager



REPORT TO COUNCIL

Regular Meeting of Council

DATE: May 27, 2024
TO: Robert Buchan, City Manager
FROM: Rodolfo Paras Diaz, Planner I

SUBJECT: REZONING APPLICATION ZBLA-24-02

RECOMMENDATION:

THAT Council proceed with consideration for City of Prince Rupert Zoning Amendment Bylaw No. 3538 (Parcels C1 to C6) and City of Prince Rupert Zoning Amendment Bylaw No. 3540 (Parking, Lots 21-23, A, Lots 26-28);

AND THAT Council require a Section 219 Covenant to restrict the use of eight (8) residential units to only senior housing.

REASON FOR REPORT:

To consider proceeding with Zoning Amendment Bylaws #3538 and #3539 to allow a 5-story, 40-unit residential development (including eight dwelling units for seniors) on the parcels described as Lots 21-23, Parcel A (See TD 10960), Lots 26-28, Block 10, Section 1, District Lot 1992, Range 5, Coast District Plan 923.

The application involves:

1. Changing the Zoning of the parcels from C1, Core Commercial Zone, to C6, Downtown Highrise Zone, with the conditions to maintain eight seniors units and restrict the height to 22 metres; and,
2. Reducing the mandated minimum parking spaces to 0.6 spaces per unit.

BACKGROUND:

The City has received a zoning bylaw amendment application for the subject property on the north corner of 2nd Avenue West and 8th Street. The applicant, Gitmaxmak'ay Nisga'a Prince Rupert Society, proposes a 40-unit Multi-Family residential development to serve the community. The development would include a variety of one-, two-, and three-bedroom options, including seniors housing and accessible options. The applicants intend to submit this project to BC Housing's Indigenous Housing Fund call,

which provides affordable rental homes for Indigenous families, Elders, individuals, and persons with disabilities.

This Proposed Development would require the property's zoning to be changed from C1 (Core Commercial Zone) to C6 (Downtown Highrise Zone), but with a building height restriction of 22 metres as opposed to the maximum allowed building height of 35 metres. In addition to the change in Zoning, the applicant is seeking a required parking reduction to 0.6 parking spaces per unit instead of the currently mandated one space per unit.

As part of their commitment to community engagement and following the requirements of Council policy, the applicant has undertaken community consultations, which have been instrumental in shaping their proposal. The applicants intend to "enhance the local community by providing affordable rental housing." They have also diligently incorporated the comments received during their public consultation, resulting in a design incorporating "distinct cultural elements" and addressing the concerns raised during the consultations.

ANALYSIS:

Link to Strategic Plan

In the Strategic Plan, the City Council identifies a need for more housing in Prince Rupert, and they set a goal to "support and encourage new and renewed housing working with industry, senior government and First Nations". This proposal offers the opportunity for the City to support the creation of 40 new units in Prince Rupert, with units being allocated to seniors and people with different mobility needs.

Additionally, the Strategic Plan establishes the goal to "encourage, support, and undertake community renewal to ensure it becomes a world-class port city"; this project seeks to revitalize an area by creating residential units at a location that the OCP has determined as well-suited for residential development. It is already served by public infrastructure and transit and is close to commercial and other amenities.

Zoning and Land Uses

The current zoning of the parcels mentioned above, C1: Core Commercial Zone, permits multiple-family residential use, which is the intended use of this proposal. But, as the proposal exceeds the density for this lot, as well as the allowed height for buildings in C1 (from 16 metres to 22 metres), Floor Area Ratio, and the Lot Coverage (50% of the site area), the applicant seeks to change the Zoning to C6. In addition, the applicants seek a reduction in minimum parking spaces to 0.6 per unit instead of the mandated one space per unit.

Link to the Housing Needs Report, 2022

The Housing Needs Report (HNR) is a document aimed at providing the Council and staff with a better understanding of Prince Rupert's housing needs and opportunities. Three of the most significant needs in the community, as determined by this report, are:

- need for more market and non-market housing
- unmet demand for Housing for Seniors
- gap in Indigenous-Led Housing Projects

The Housing Needs Report (HNR) described how housing dynamics in Prince Rupert have changed over the past couple of decades due to the limited new residential construction in recent decades, with low and moderate-income households experiencing challenges finding affordable housing. Another important finding in the HNR is a growing need for senior housing in a variety of support levels. The report highlights how many older residents currently live in inaccessible single-detached homes that may require high maintenance. Because of these reasons, it was determined that there is a need for "accessible multi-unit development (e.g., apartment with an elevator, single-storey townhouses) for aging residents and singles looking for smaller units, as well as assisted living facilities with dedicated supports."

With close to 40% of the population identifying as Indigenous and with the recent non-market housing projects completed by First Nations and BC Housing, the report also determined an essential need in the community for Indigenous-Led Housing Projects.

By offering new housing options for Indigenous people, this project, led by the Nisga'a Society in Prince Rupert, aims to shorten the gap in need for culturally safe housing. This development proposal includes Non-Market Rental Housing and Accessible & Adaptable Housing for seniors in an Indigenous-Led Housing Project.

The applicants intend to create 40 units to serve various housing needs in Prince Rupert, including non-market housing, senior housing units, and accessible units. Eight units are planned to be allocated to senior housing in an accessible environment, thus helping create housing options for seniors who may be unwilling or incapable of maintaining a detached dwelling unit. The proposal also offers the opportunity for family members being able to live in the same building as their older relatives.

Alignment with Official Community Plan

Two of the principles that guided the Official Community Plan (OCP) were the concepts of Smart Growth and Complete Communities, which this project strongly aligns with. Smart Growth promotes walkable communities, compact development, and mixed land uses. "Smart Growth can help neighbourhoods achieve a strong sense of community and place while increasing accessibility of housing, transportation and employment." This development, being located in the downtown core midtown area, which is currently served by public transit and is in walking distance to a variety of amenities, would be creating dwelling units in a manner which is efficient with the resources of the City.

Complete Community principles "aim to meet the diverse needs of the community's Residents" It promotes mixed uses and healthy density to promote the access to required services. The location of this development could create the opportunity for seniors, people with disabilities and low-income earners (community members who statistically are less likely to own a car) to live in close proximity and have better access to different amenities and essential services.

The main objective for the Midtown District, as delimited by the District Guidelines within the OCP, is to "undergo a transition to a primarily residential neighbourhood, with mixed-use opportunities woven in". This proposed development will create a variety of housing options in a central location, which may reinforce the link between Midtown with Downtown and the Marina District

Link to the Parking Specified Area

The City Council passed the removal of off-street parking requirements in the Parking Specified Area on November 2023. Although this building is outside of the Parking Specified Area, this proposal is directly adjacent to the Parking Specified Area. Removing development barriers and adding to the density of the area aligns with the overall intent of the Parking Management Strategy.

In this specific proposal, it is important to clarify that the target demographic tends to have lower car ownership rates. BC Housing developments often require lower parking than market development. In addition, the central location offers access to different amenities and essential services within walking distance, which may attract residents who cannot own a vehicle or choose not to do so.

It is possible that parking may overflow onto street parking within nearby areas. In this case, any on-street parking will be subject to existing parking regulations and enforcement downtown, such as time restrictions. The area is within the regular Bylaw enforcement route for parking management.

Granting this zoning change and minimum parking reduction would increase the housing options in the City's downtown area, which has been deemed essential for the overall housing needs of the City. Due to its proximity to the parking specified area, this development will fit the aesthetic of the general district. For this reason, it is recommended that the Council give a first, second and third reading of this proposal.

EQUITY CONSIDERATIONS

As the population of Prince Rupert grows and housing solutions are explored, it is essential to employ an equity lens to understand how to address structural barriers like racism and ableism that result in an overrepresentation of Indigenous people and people with disabilities among those experiencing housing insecurity.

This proposed development will benefit several community groups that have historically been disadvantaged and need more housing options. The applicants have received direct input from different local organizations and have contacted the community. With this Indigenous-led project, they seek to provide housing options the community has expressed need.

COST:

There are no budget impacts to this recommendation.

Report Prepared By:

Report Reviewed By:

Rodolfo Paras Diaz,
Urban Planner I

Robert Buchan,
City Manager

Attachments:

- Context Map
- Letter from the Chief Executive Officer, Blair Mirau, regarding Public Consultation.
- Architectural Drawings of the proposed development
- Letters of support to the proposal

916A 914A
916B 914B

1st Avenue West

**SUBJECT
PROPERTY**

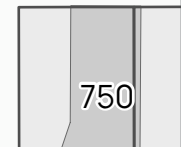
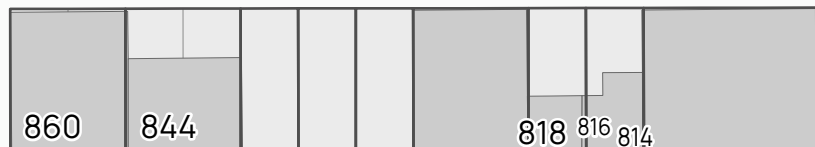
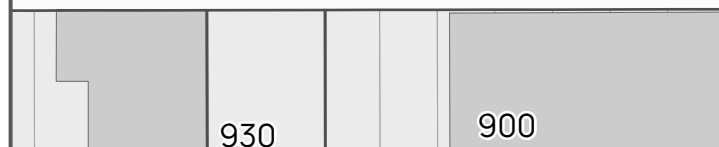
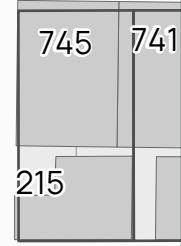
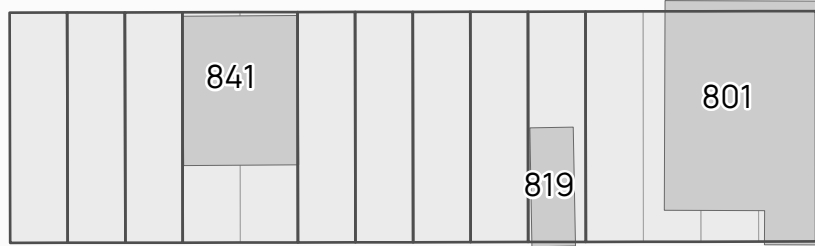
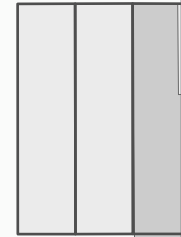
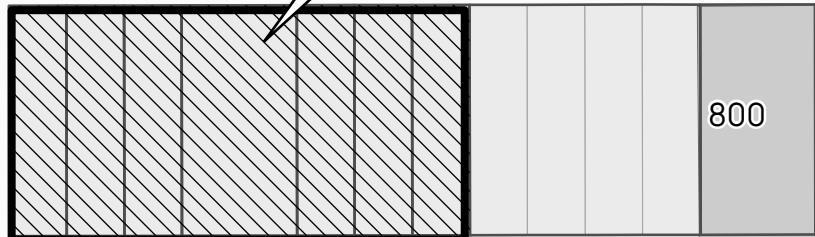
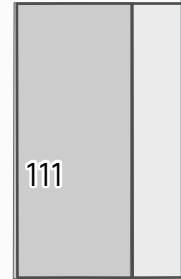
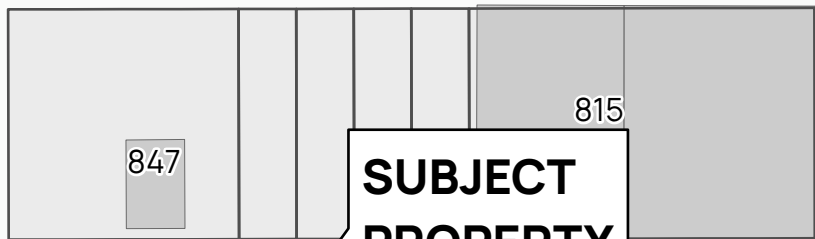
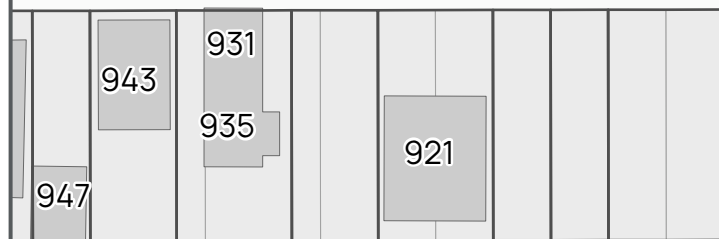
8th Street

7th Street

2nd Avenue West

8th Street

7th Street



May 6, 2024

The City of Prince Rupert
424 3rd Ave W

Attention: Myfannwy Pope, Planning Manager

Dear Myfannwy Pope,

Re: Community Consultation for Rezoning Application

I am writing to provide an overview of the community consultation process undertaken in relation to our rezoning application for the new affordable housing project located at 2nd Ave W and 8th St. This initiative is aimed at enhancing the local community by providing affordable rental housing.

It's first important to note that the Society has undertaken previous neighbourhood consultations at both the McBride and Hays Cove locations that had preliminary research undertaken. In both instances, dozens of neighbours strongly insisted that they felt that vacant lots in the downtown area were better suited for our proposed development.

In our commitment to transparency and community engagement, we have conducted extensive consultations with the neighboring residents and local businesses to discuss the proposed rezoning and gather feedback. These consultations have been ongoing since reaching an accepted purchase offer in April, and the business & owners we have verbal or written support in the site map attached.

We have also started a petition for BC Housing and have garnered hundreds of signatures in just a few days of a single staff member canvassing the area.

Key points we heard during our consultations included:

- **Impact on affordable housing:** everyone unanimously agreed that Prince Rupert needs more affordable rental housing, that market rents are getting too high and that many existing private rentals are in substandard condition. The two groups highlighted as most in need were seniors, and then families who require more than 2 bedrooms.
- **Community Benefits:** the benefits of the proposed location were mentioned numerous times, specifically the walking distance to countless services and amenities in the downtown area such as jobs, grocery stores, government services, and restaurants.
- **Environmental Considerations:** feedback was extremely positive for higher-density infill development within the downtown area, particularly on a below-grade lot with structural remnants from a hotel fire.
- **Noise Considerations:** the only potential note of concern from 2 prospective tenants was the likelihood of street noise on the 2nd Avenue side of the building.
- **Design Feedback:** the stereotype of many affordable housing projects looking like lifeless boxes was mentioned, with a desire to see more eye-catching aesthetic in the downtown.

We have attentively addressed the feedback received and integrated community suggestions into our planning: 1) we are prepared to enter into a covenant to allocate all street-level 1-bedroom units for seniors, 2) we have incorporated triple glazed windows and double acoustic drywall on the 2nd Ave side of the building to reduce the potential for street noise, 3) we have incorporated bright, vibrant colours into the siding, as well as a distinct cultural elements for our entryway with a focus on red and black, the traditional colours utilized by Nisga'a artisans.

This approach is designed to ensure that the project will fulfill the requirements of future residents while simultaneously improving the living standards of the existing community.

We believe that this project will bring substantial benefits to our community and have made every effort to ensure it aligns with the interests and well-being of all stakeholders involved.

Thank you for considering our application. We look forward to your feedback and hope for a positive resolution that will allow us to proceed with contributing positively to our community's development.

Sincerely,

A handwritten signature in black ink, appearing to read 'B Mirau', written in a cursive style.

Blair Mirau, Chief Executive Officer
Gitmaxmak'ay Nisga'a Society

Cc: Mustafa Kulkhan, Relativity Projects
Darcy Imada, DYS Architecture
David Simpson, DYS Architecture

GITMAXMAK'AY HOUSING

2ND AVENUE, PRINCE RUPERT, BC



STATISTICS:		
LOT SIZE:	14,990.5 SF (1,343.4 SM)	
BUILDING AREA:	42,683.5 SF (3,965.4 SM)	
PROPOSED BUILDING USE:	MULTI-FAMILY RESIDENTIAL	
UNIT COUNT		
STUDIO	10 UNITS	
1 BED ACCESSIBLE	1 UNIT	
1 BED	10 UNITS	
2 BED	7 UNITS	
3 BED ACCESSIBLE	1 UNIT	
3 BED	11 UNITS	
TOTAL	40 UNITS	
LOT COVERAGE:		
REQUIRED	50%	PROPOSED 66%
DENSITY (FAR):		
REQUIRED	1.50	PROPOSED 2.85
BUILDING HEIGHT:		
REQUIRED	16m (49.6')	PROPOSED 20m (65.6')
PARKING:		
RESIDENTIAL (1/UNIT)	34 STALLS	20 STALLS (0.6/UNIT)
SENIORS (0.25/UNIT)	2 STALLS	2 STALLS
ACCESSIBLE	2 STALLS	2 STALLS
TOTAL	36 STALLS	22 STALLS
*ACCESSIBLE STALLS ARE INCLUDED IN ON-SITE RESIDENTIAL COUNT		
CODE SUMMARY		
B.C.B.C. 2024 PART 3		
FULLY SPRINKLERED BUILDING		
COMBUSTIBLE CONSTRUCTION		
MAJOR OCCUPANCY - C (RESIDENTIAL)		
FIRE SEPARATIONS WITHIN OCCUPANCIES		
- 1 HR BETWEEN SUITES AND ACCESS TO EXITS		
- 1 HR SERVICE ROOMS		
ENERGY EFFICIENCY REQUIREMENTS		
BC STEP CODE - STEP 3		

CLIENT
CITY OF PRINCE RUPERT

NO. | DATE | ISSUE
1 | 2024-05-02 | REZONING APPLICATION

NO. | DATE | REVISION

CONSULTANT TEAM

DESIGN-BUILDER

CTMC
1088 GREAT ROAD
PRINCE GEORGE, BC
TEL: 250-644-0561

DEVELOPMENT MANAGER

RELATIVITY PROJECTS INC.
12-11451 SUTTON AVE.
PITT MEADOWS, BC V3Y 0G6
TEL: 718-388-2611

ARCHITECT

DYS ARCHITECTURE
260-1770 BURRARD STREET
VANCOUVER, BC V6J 3G7
TEL: 604-669-7710
FAX: 604-669-6629

DRAWING LISTS

ARCHITECTURAL

A0.01	COVER SHEET, DRAWING LIST, CONSULTANT LIST
A0.02	3-D VIEWS
A1.01	SITE PLAN
A1.02	SURVEY PLAN
A2.01	PARKING LEVEL PLAN
A2.02	LEVEL 1 PLAN
A2.03	LEVEL 2 PLAN
A2.04	LEVEL 3 PLAN
A2.05	LEVEL 4 PLAN
A2.06	LEVEL 5 PLAN
A2.07	ROOF PLAN
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS
A4.01	BUILDING SECTION
A4.02	BUILDING SECTION

Project Name IDL- Gitmaxmak'ay Housing
Address Prince Rupert, BC
Building Type Wood-frame Apartments
Parking Type Surface

Function	Description of units/ space	ft ² / unit or room	# of units	Total ft ²	Total m ²
a - Residential Units	Studio A	609.8	10	6098.0	566.5
	One Bedroom B	689.8	9	6208.2	576.7
	One Bedroom B1	802.1	1	802.1	74.5
	One Bedroom Access B2	829.0	1	829.0	77.0
	Two Bedroom C	965.7	1	965.7	89.7
	Two Bedroom C1	873.5	3	2620.5	243.4
	Two Bedroom C2	873.5	3	2620.5	243.4
	Three Bedroom D	1011.7	4	4046.8	375.9
	Three Bedroom D1	1225.6	5	6128.0	569.3
	Three Bedroom D2	1215.6	3	3646.8	338.8
Total No. of Units			40		
b - Resident's Amenity	Residents' Amenity Space Level 1	650.3	1	650.3	60.4
	H/C W/C	75.4	1	75.4	7.0
c - Administration	Office	155.7	1	155.7	14.5
	Janitor/ Maint	102.3	1	102.3	9.5
	Storage	65.4	3	196.2	18.2
d - Circulation	Corridor Level 1	1390.8	1	1390.8	129.2
	Corridor Level 2	1174.4	1	1174.4	109.1
	Corridor Level 3 to 5	1108	3	3324.0	308.8
e - Service Rooms	Level 1 shaft	46.3	1	46.3	4.3
	Level 2-5 shaft	57.8	4	231.2	21.5
	Service	152.6	3	457.8	42.5
Summary					
a - Total Net Residential Area*				33965.6	3155.4
b - Total Net Resident's Amenity*				725.7	67.4
c - Total Net Administration*				454.2	42.2
d - Total Circulation				5889.2	547.1
e - Total Net Service*				735.3	68.3
g - Net Livable*				41770.0	3880.4
Overall Building Efficiency				0.81	

*Net areas have been measured to the outside face of plywood sheathing

PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

COVER SHEET

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PROJECT A223568

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SCALE NTS
DATE APRIL 10, 2024

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1 NORTH WEST CORNER



2 ENTRY VIEW

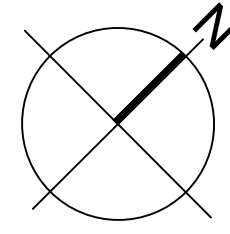


3 2ND AVENUE VIEW



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1 CONTECT PLAN
NTS

NO.	DATE	ISSUE
1	2024-05-02	REZONING APPLICATION

NO.	DATE	REVISION
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PROJECT
GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

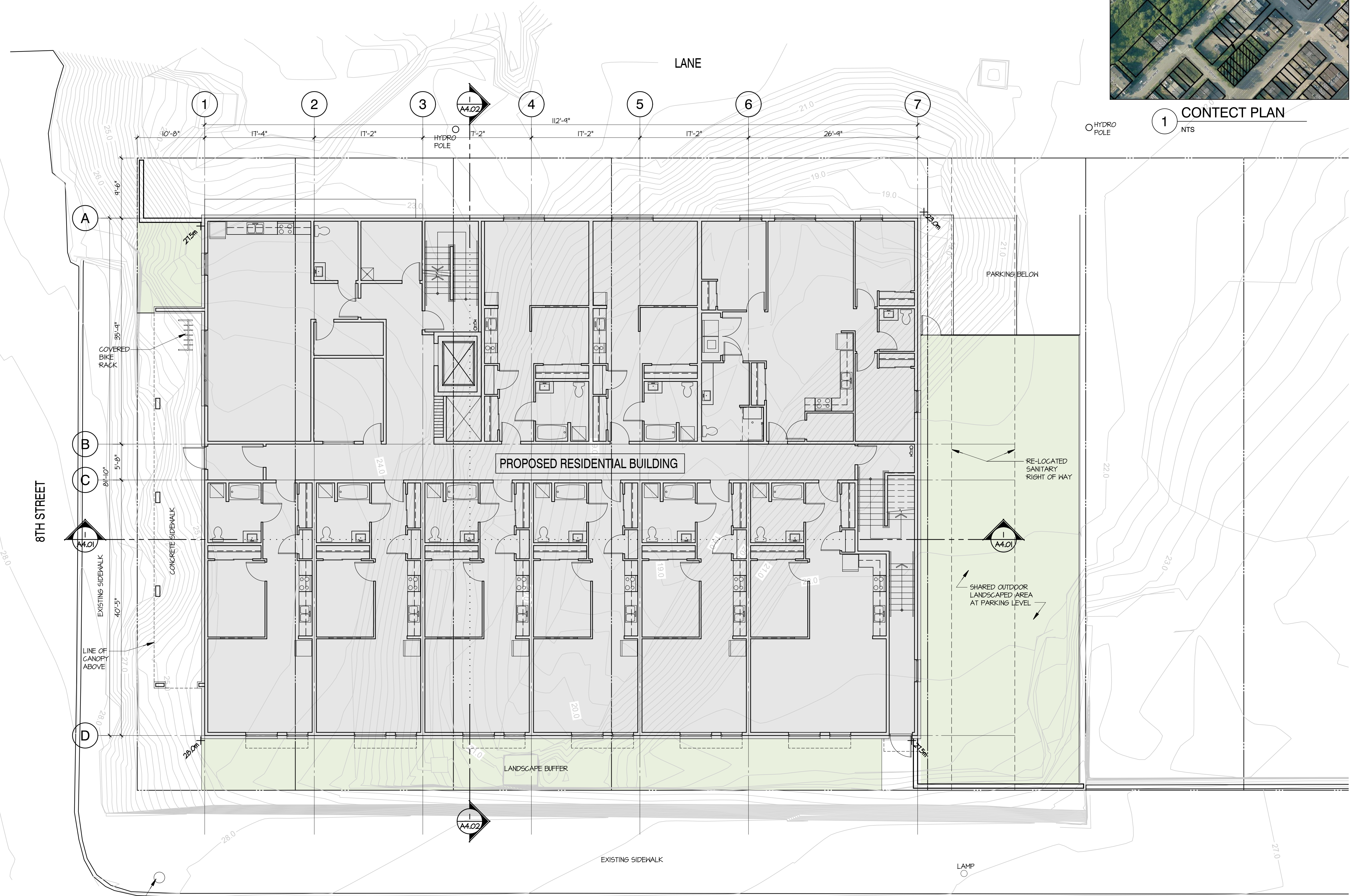
SITE PLAN

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DATE APRIL 10, 2024

A1.01



McElhanney ANS I D - 2015-08-11
 DATE: 2024-04-18 10:41 FILE: X:\2321\project\2321-01-18002 2nd Avenue Housing Project\07 DRAWINGS\01 - Sheets\2321-0118-00 V-100.dwg
 PROJECT: 2321-01-18002 2nd Avenue Housing Project



- NOTES:**
- SITE SURVEY PERFORMED ON APRIL 11, 2024 BY McELHANNEY LTD.
 - SITE COORDINATES/ELEVATIONS DERIVED USING PRECISE POINT POSITIONING AROUND SURVEY HUB ML 3247.
 N: 6018869.94m
 E: 413408.65m
 ELEV: 27.357m
 - COORDINATES ARE IN NAD83 (CSRS), UTM ZONE 9 AND ELEVATIONS ARE IN METERS BASED ON GEODETIC DATUM USING GEIOD MODEL HT 2.0.
 - THIS PLAN SHOWS GRID MEASURED DISTANCES. TO COMPUTE GROUND LEVEL DISTANCES, MULTIPLY GRID DISTANCES BY THE COMBINED SCALE FACTOR OF 1.000310897 DERIVED AROUND ML 3247.
 - ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE NOTED.
 - CONTOUR INTERVAL: MAJOR 1.0m, MINOR 0.2m.
 - LOCATIONS OF UNDER GROUND UTILITIES SHOWN ON PLAN ARE APPROXIMATE ONLY. INFORMATION MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.
 - THE CADASTRAL COMPOSITE SHOWN IS BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY MEASUREMENTS. THE CADASTRAL COMPOSITE IS TO BE USED FOR PLANNING PURPOSES ONLY AND IS NOT TO BE CONSTRUED AS A LEGAL SURVEY DOCUMENT. THE REPRESENTATION SHOWN CARRIES NO GUARANTEE OF COMPLETENESS OR ABSOLUTE ACCURACY. McELHANNEY ACCEPTS NO RESPONSIBILITY FOR ANY UNAUTHORIZED USE.
 - THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS.

SURVEY CONTROL TABLE

DESCRIPTION	NORTHING	EASTING	ELEVATION
* ML 3246	6018941.250	413481.307	27.113
ML 3247	6018869.940	413408.650	27.332

* OUTSIDE PLAN LIMITS

LEGEND

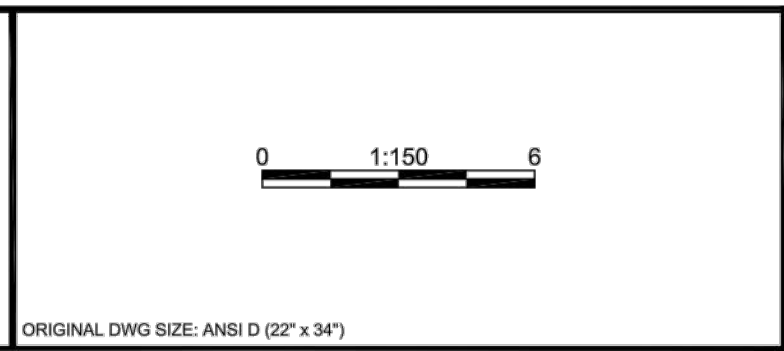
	LEGAL BOUNDARIES
	SRW
	CONTOURS
	ASPHALT EDGE
	ROAD CENTRELINE
	TOP OF CURB
	GUTTER LINE
	TOP OF SLOPE
	TOE OF SLOPE
	SANITARY SEWER MAIN
	STORM SEWER MAIN
	WATER MAIN
	ASPHALT
	CONCRETE
	RIPRAP
	UTILITY POLE
	STREET LIGHT
	GAS MARKER
	FIRE HYDRANT
	VALVE
	SAN. MANHOLE
	SIGN
	SURVEY HUB

Rev	Date	Description	Drawn	Design	App'd
PA	2024-04-18	ISSUED FOR INFORMATION	JMD	-	TPA

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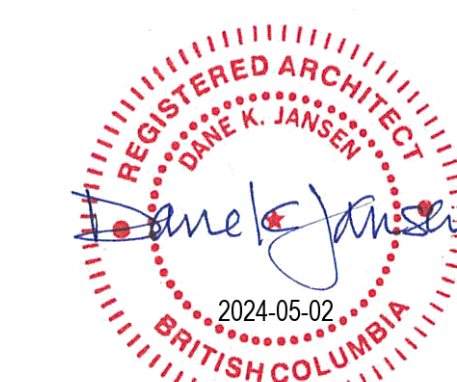
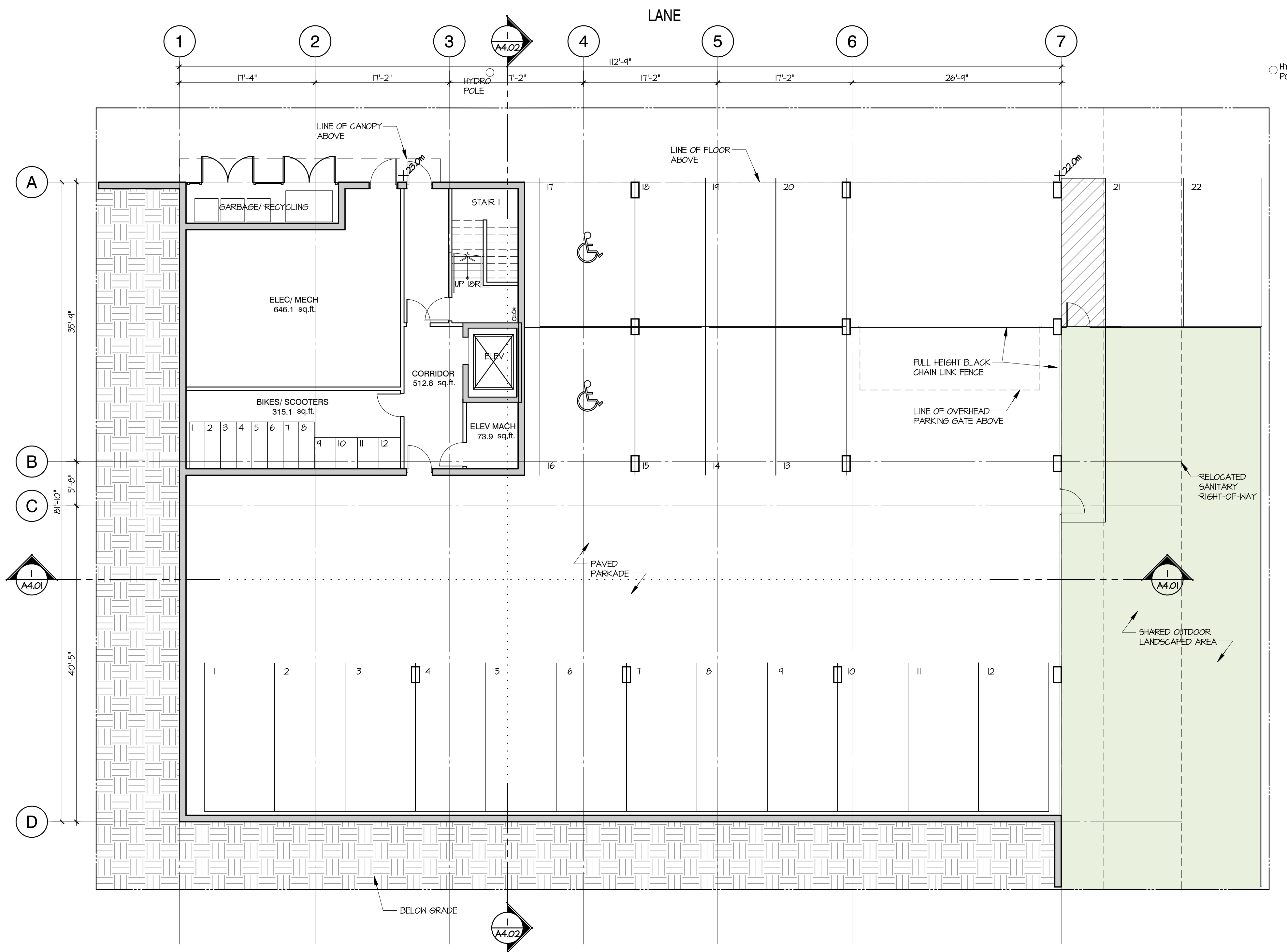
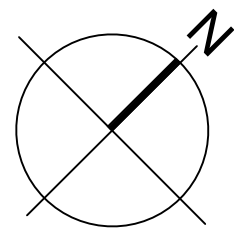
McElhanney
 1 - 6008 Pohle Avenue,
 Terrace BC V8G 4S8
 Tel. 250 635 7163

GITMAXMAK'AY NISGA'A SOCIETY
 860 3RD AVENUE WEST, PRINCE RUPERT, BC, V8J 1M6
2ND AVENUE HOUSING PROJECT
 EXISTING CONDITIONS
PLAN

Drawing No.
V-001
 Project Number
 2321-01136-00
 Rev.
 PA

RESTROY ALL PRINTS BEARING PREVIOUS REVISION

A1.02



PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

BASEMENT/ PARKING PLAN

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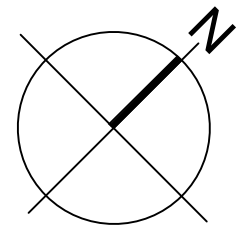
PROJECT A223568

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SCALE 1/8" = 1'-0"

DATE APRIL 10, 2024

A2.01



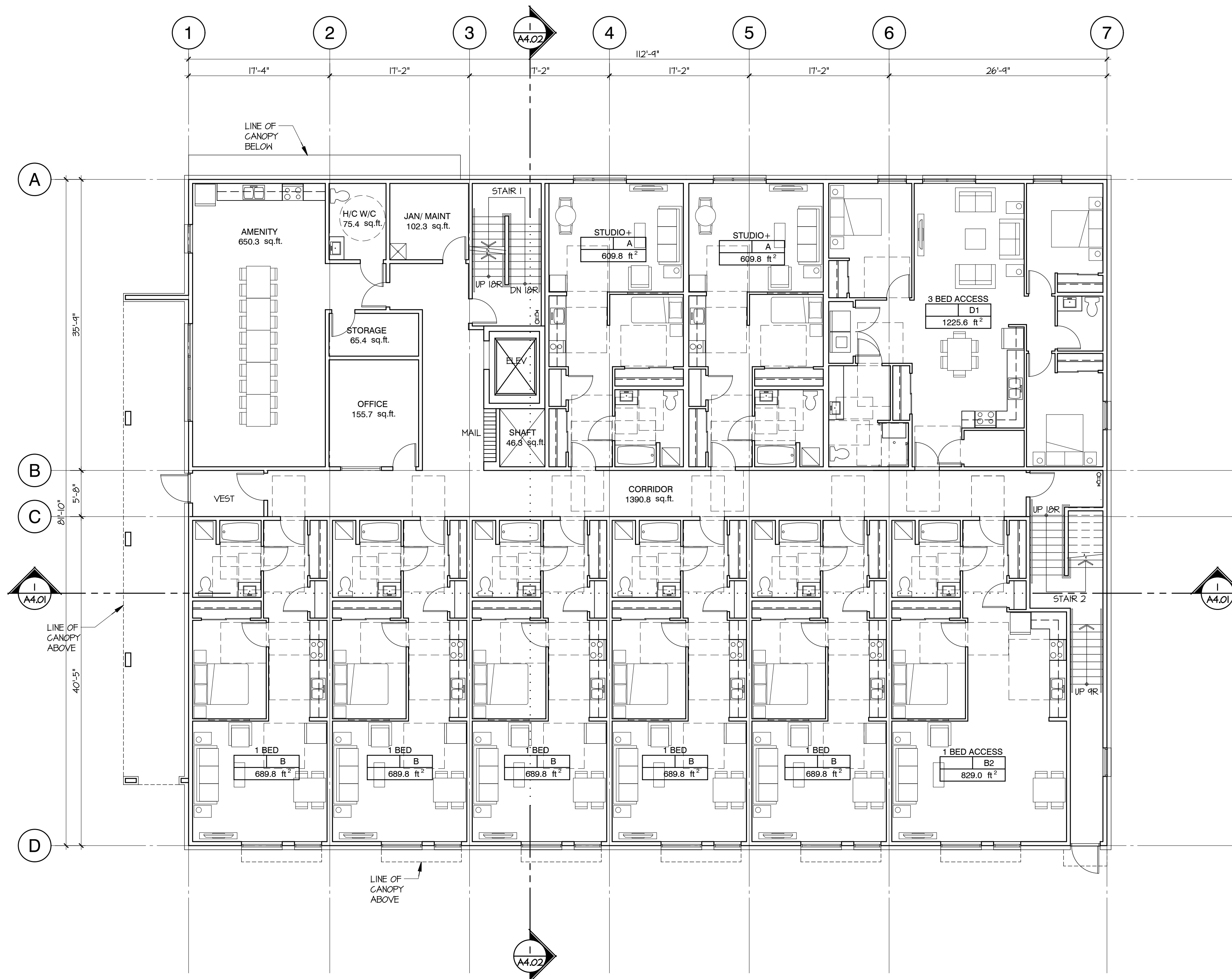
CLIENT

CITY OF PRINCE RUPERT

NO. | DATE | ISSUE

1 | 2024-05-02 | REZONING APPLICATION

NO. | DATE | REVISION



PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

LEVEL 1 PLAN

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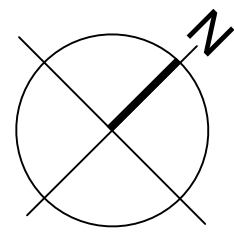
PROJECT A223568

DRAWN DI CHECKED DS

SCALE 1/8" = 1'-0"

DATE APRIL 10, 2024

A2.02



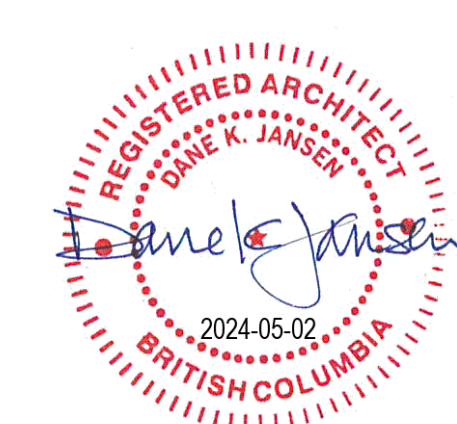
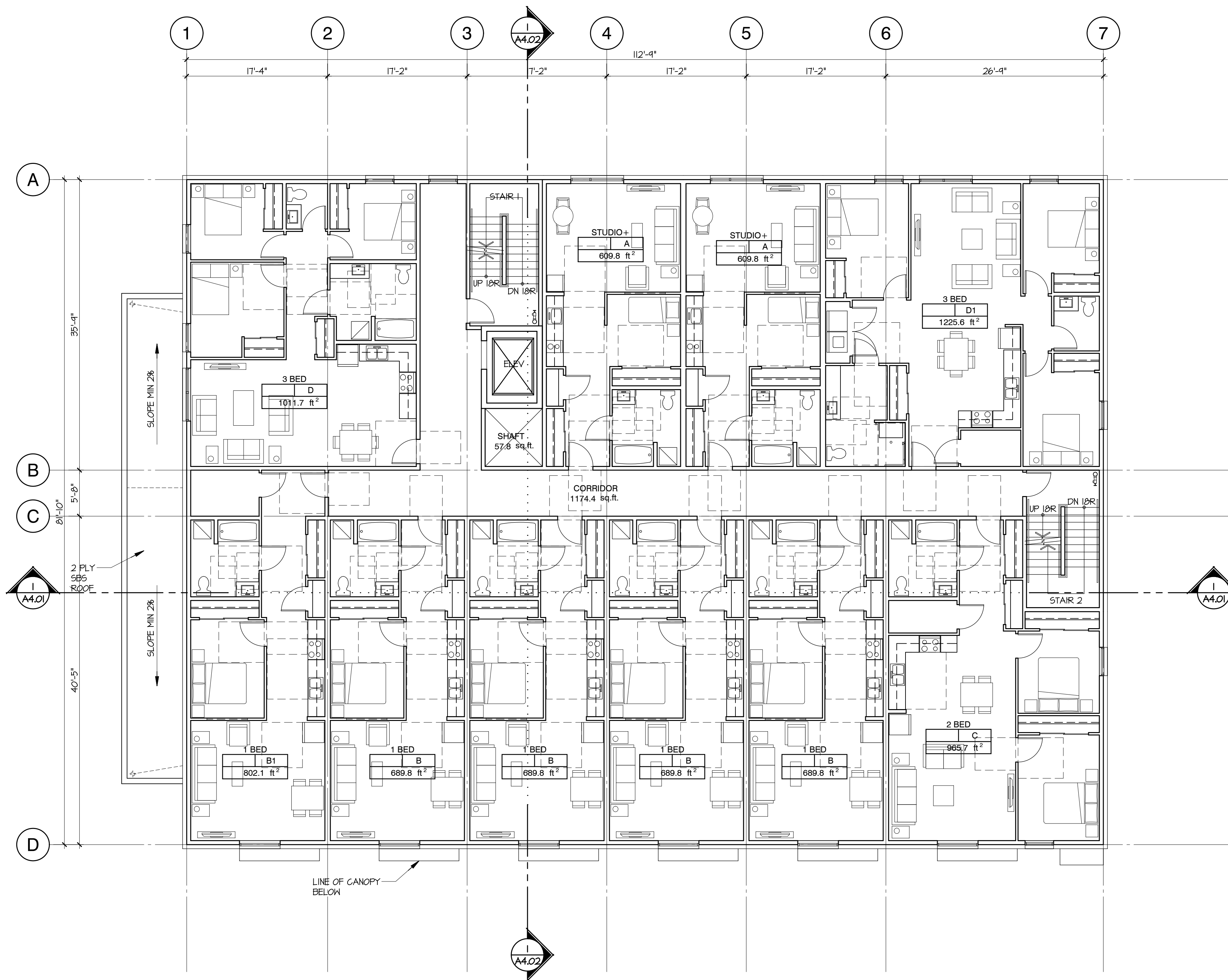
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PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

LEVEL 2 PLAN

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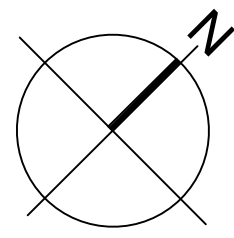
PROJECT A223568

DRAWN DI CHECKED DS

SCALE 1/8" = 1'-0"

DATE APRIL 10, 2024

A2.03



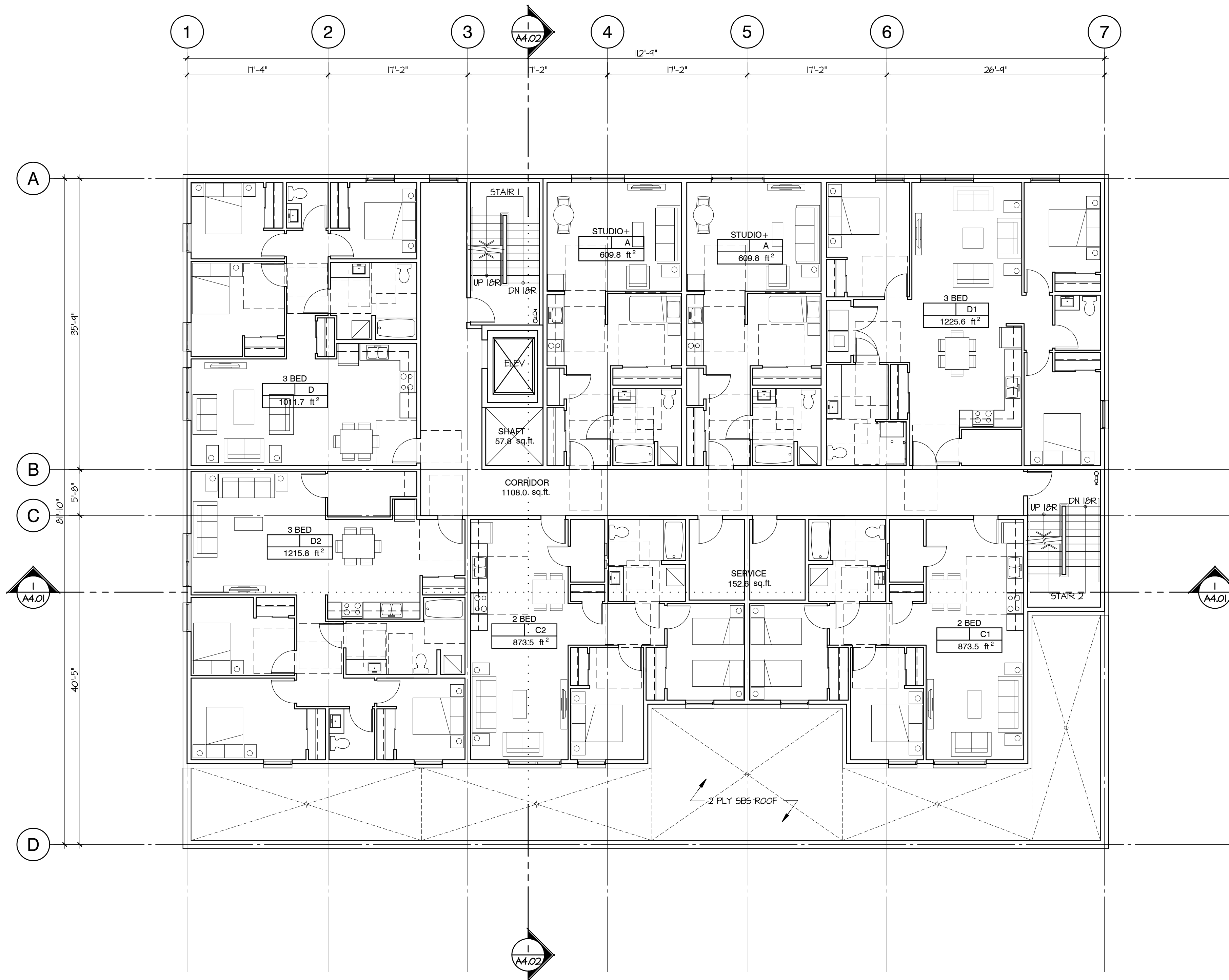
CLIENT

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PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

LEVEL 3

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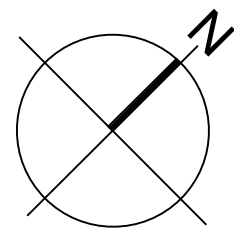
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DATE APRIL 10, 2024

A2.04



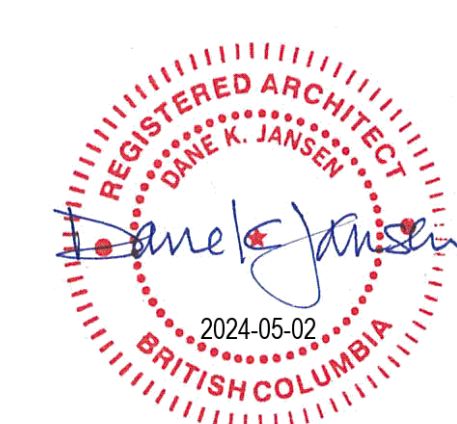
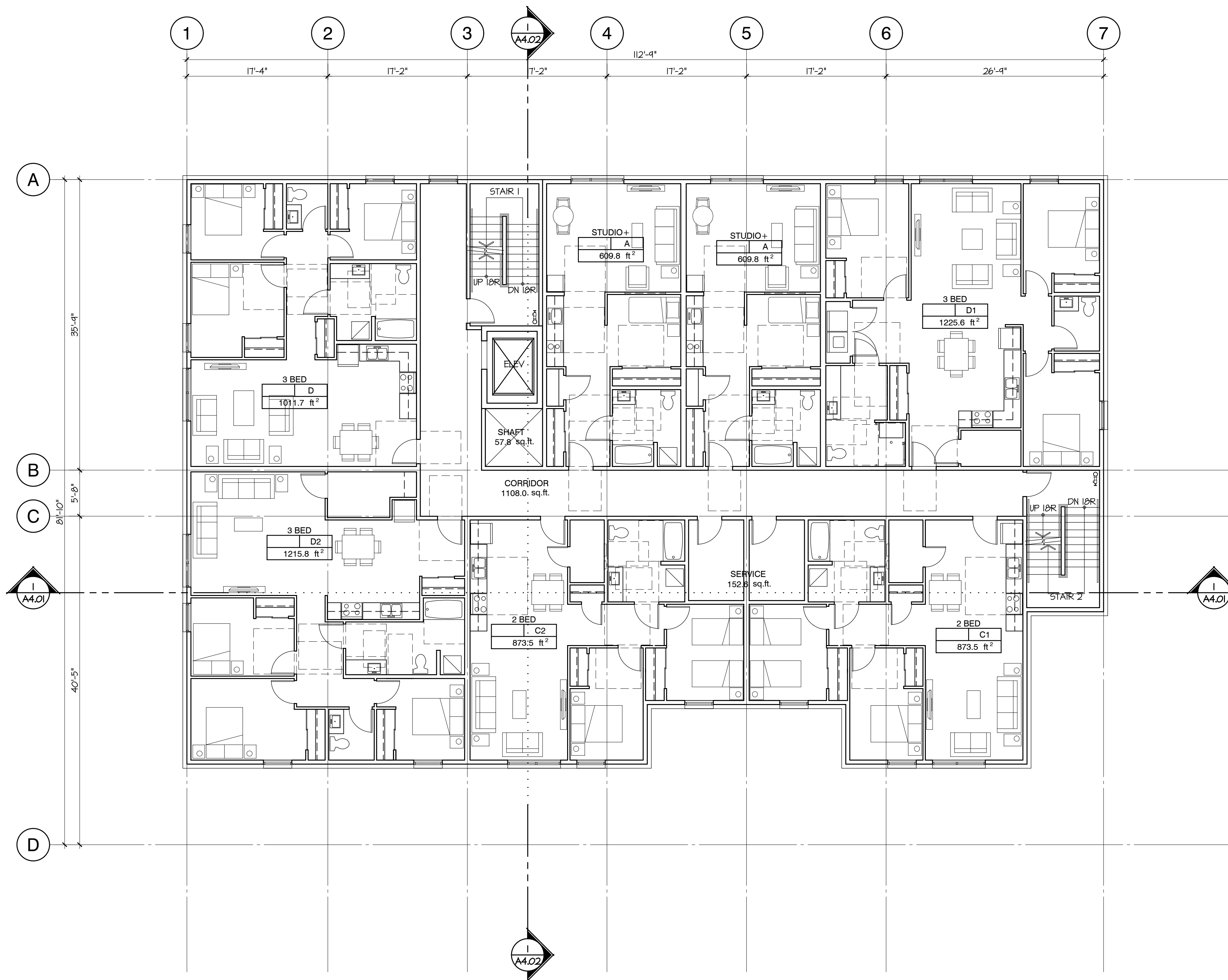
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PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
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LEVEL 4

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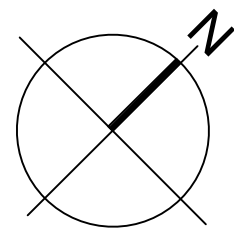
PROJECT A223568

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SCALE 1/8" = 1'-0"

DATE APRIL 10, 2024

A2.05



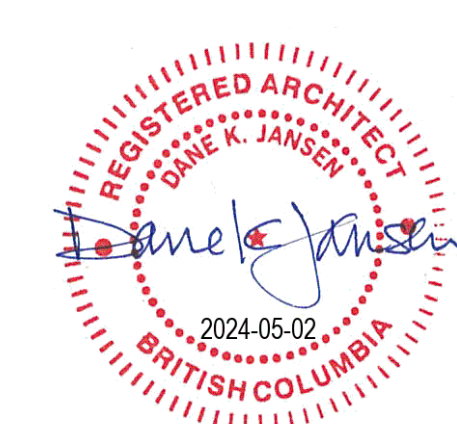
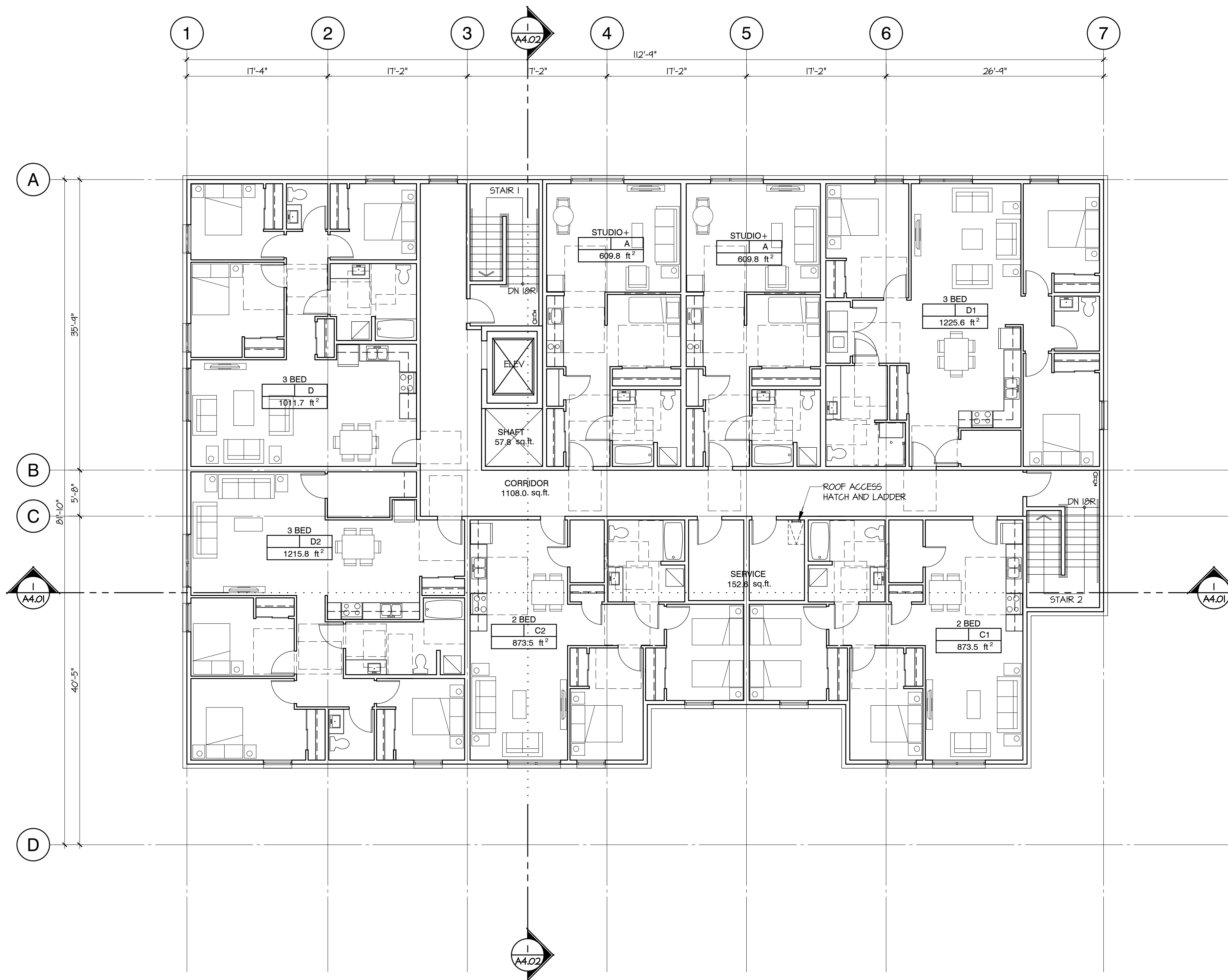
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PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

LEVEL 5

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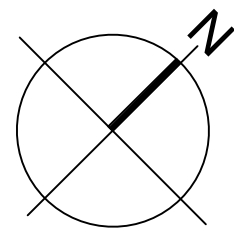
PROJECT A223568

DRAWN DI CHECKED DS

SCALE 1/8" = 1'-0"

DATE APRIL 10, 2024

A2.06



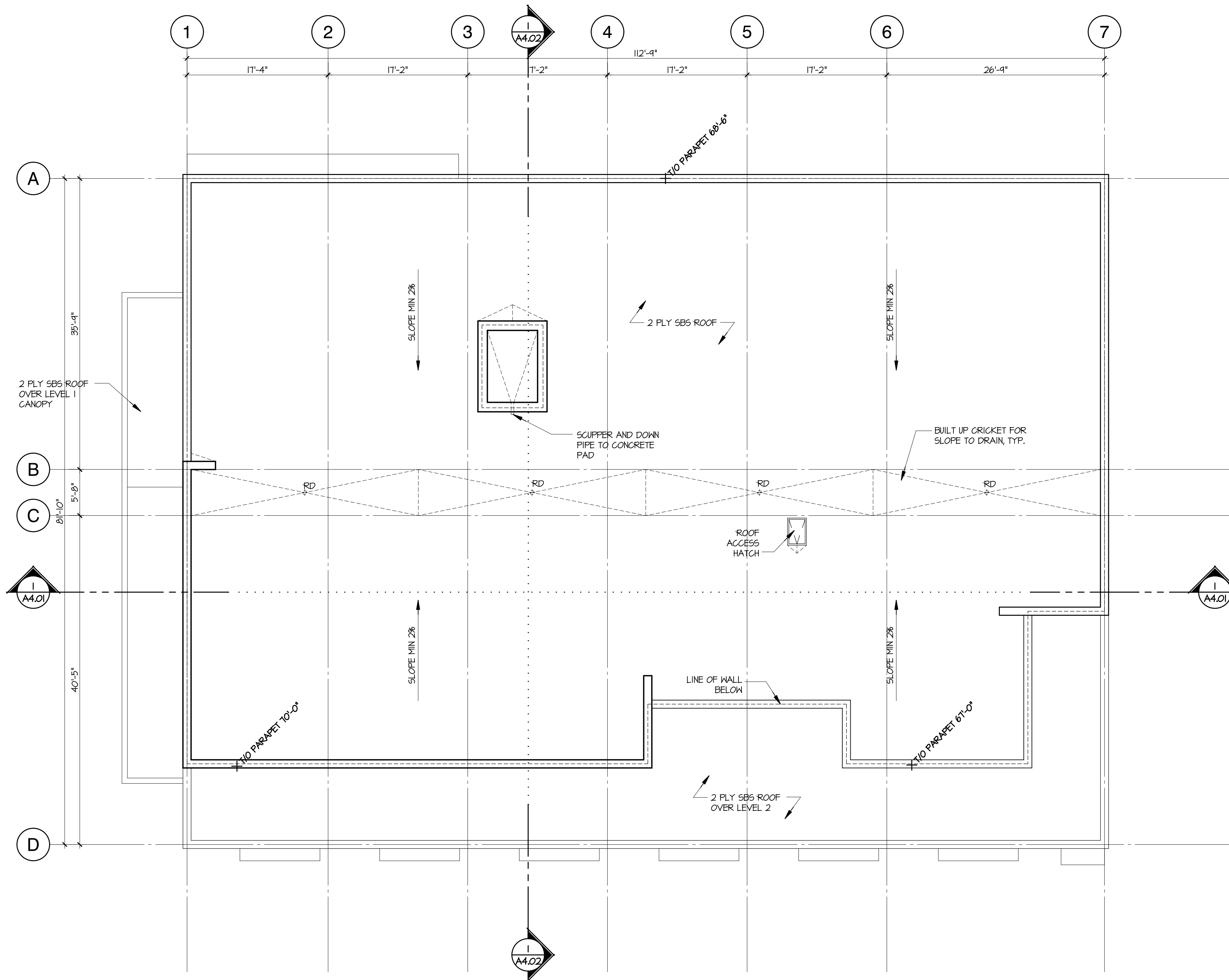
CLIENT

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PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

ROOF PLAN

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A2.07

CLIENT

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1 2ND AVENUE



2 EAST ELEVATION



PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

BUILDING ELEVATIONS

MATERIAL LEGEND		
1	METAL CLADDING	RED
2	METAL CLADDING	ORANGE
3	METAL CLADDING	YELLOW
4	METAL CLADDING	GREEN
5	METAL CLADDING	BLUE
6	METAL CLADDING	INDIGO
7	METAL CLADDING	VIOLET
8	TRIPLE GLAZED VINYL WINDOW SYSTEM	MATTE BLACK
9	INSULATED STEEL DOOR ASSEMBLY	MATTE BLACK

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A3.01

CLIENT
CITY OF PRINCE RUPERT

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1 NORTH ELEVATION



2 WEST ELEVATION



PROJECT
GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

BUILDING ELEVATIONS

MATERIAL LEGEND		
1	METAL CLADDING	RED
2	METAL CLADDING	ORANGE
3	METAL CLADDING	YELLOW
4	METAL CLADDING	GREEN
5	METAL CLADDING	BLUE
6	METAL CLADDING	INDIGO
7	METAL CLADDING	VIOLET
8	TRIPLE GLAZED VINYL WINDOW SYSTEM	MATTE BLACK
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A3.02

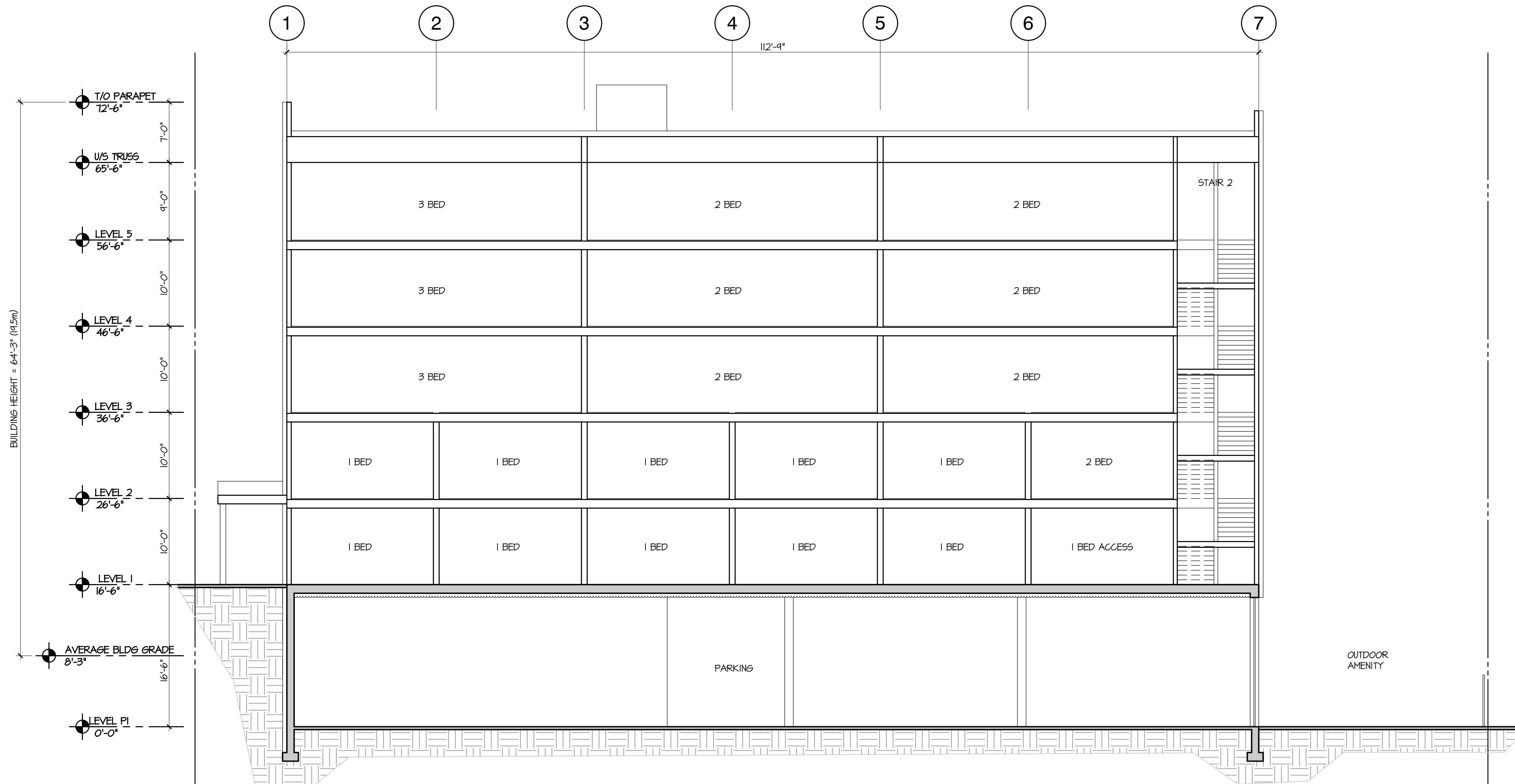
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	WALL ASSEMBLIES	FIRE RATINGS	STC RATINGS
CONSTRUCTION ASSEMBLIES	EW1 TYP. EXTERIOR WALL SIDING PER ELEVATIONS 7/8" METAL HAT TRACK THERMALLY BROKEN CLIP SYSTEM 2" RIGID MINERAL WOOL INSULATION S.A. VAPOUR PERMEABLE AIR/ MOISTURE BARRIER MEMBRANE PLYWOOD SHEATHING PER STRUCTURAL 2" X 6" WOOD STUDS PER STRUCTURAL C/M R22 BATT INSULATION VAPOUR BARRIER MEMBRANE 1/2" GNB		
	WI TYP. INTERIOR WALL 1/2" GNB 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 1/2" GNB		
	WI2 TYP. INTERIOR WALL @ PLUMBING RISERS 1/2" GNB 2"x6" WOOD STUDS @ 16" OC - SEE STRUCTURAL 1/2" GNB		
	WB3 TYP. 1 HR RATED WALL 5/8" TYPE 'X' GNB 2"x6" WOOD STUDS @ 16" OC - SEE STRUCTURAL 5/8" THICK ABSORPTIVE MATERIAL 5/8" TYPE 'X' GNB	1 HOUR BCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E ‡ D-2.3.4.-G	30-34
	PNW1 RESIDENTIAL SUITE TO SUITE 5/8" TYPE 'X' GNB 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 3 1/2" THICK ABSORPTIVE MATERIAL 1" AIRSPACE 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 3 1/2" THICK ABSORPTIVE MATERIAL SHEAR WALL SHEATHING PER STRUCTURAL 5/8" TYPE 'X' GNB	1 HOUR BCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E ‡ D-2.3.4.-G	57 TABLE 4.10.3.1-A TYPE W18a
PNW2 RESIDENTIAL SUITE TO COMMON AREA 5/8" TYPE 'X' GNB RESILIENT CHANNELS 2"x6" WOOD STUDS @ 16" OC - SEE STRUCTURAL 5/8" THICK ABSORPTIVE MATERIAL SHEAR WALL SHEATHING - SEE STRUCTURAL 5/8" TYPE 'X' GNB	1 HOUR BCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E ‡ D-2.3.4.-G	50-54 NRCC TL-93-103	
	ROOF ASSEMBLIES	FIRE RATINGS	STC RATINGS
CONSTRUCTION ASSEMBLIES	RI TYPICAL ROOF 2 PLY SBS ROOFING MEMBRANE ASPHALT PROTECTION BOARD 8" RIGID INSULATION (RSO TOTAL) AIR/ VAPOUR BARRIER (FULLY ADHERED TO SHEATHING AND AT PENETRATIONS, TYPICAL) PLYWOOD SHEATHING PER STRUCTURAL SLOPED WOOD TRUSSES PER STRUCTURAL 5/8" GNB		
	R2 CANOPY ASSEMBLY 2 PLY SBS ROOFING MEMBRANE ASPHALT PROTECTION BOARD PLYWOOD SHEATHING PER STRUCTURAL ROOF JOISTS PER STRUCTURAL SOFFIT (PER ELEVATIONS) C/M STRIP VENTS		
	FLOOR ASSEMBLIES	FIRE RATINGS	STC RATINGS
CONSTRUCTION ASSEMBLIES	F1 CONCRETE SLAB ON GRADE FLOOR FINISH AS SPECIFIED CONCRETE SLAB PER STRUCTURAL 10 MIL POLY VAPOUR BARRIER (SEAL ALL JOINTS AND PENETRATIONS) APPROVED BEARING/ DRAINAGE MATERIAL PER CIVIL		
	F2 TYPICAL RATED TJI FLOOR FLOOR FINISH AS SPECIFIED 1 1/2" CONCRETE TOPPING PLYWOOD FLOOR SHEATHING PER STRUCTURAL 11 7/8" TJI FLOOR JOISTS PER STRUCTURAL 3 1/2" ABSORPTIVE MATERIAL RESILIENT CHANNELS @ 24" O.C. 2 LAYERS 5/8" TYPE 'X' GNB	1 HOUR APPENDIX D TABLE D.2.3.4.B, D.2.3.4.F, D.2.3.4.G AND D.2.3.10.1	64 TABLE 4.10.3.1.B F2Id



PROJECT

GITMAXMAK'AY HOUSING

2ND AVENUE
PRINCE RUPERT, BC

BUILDING SECTION

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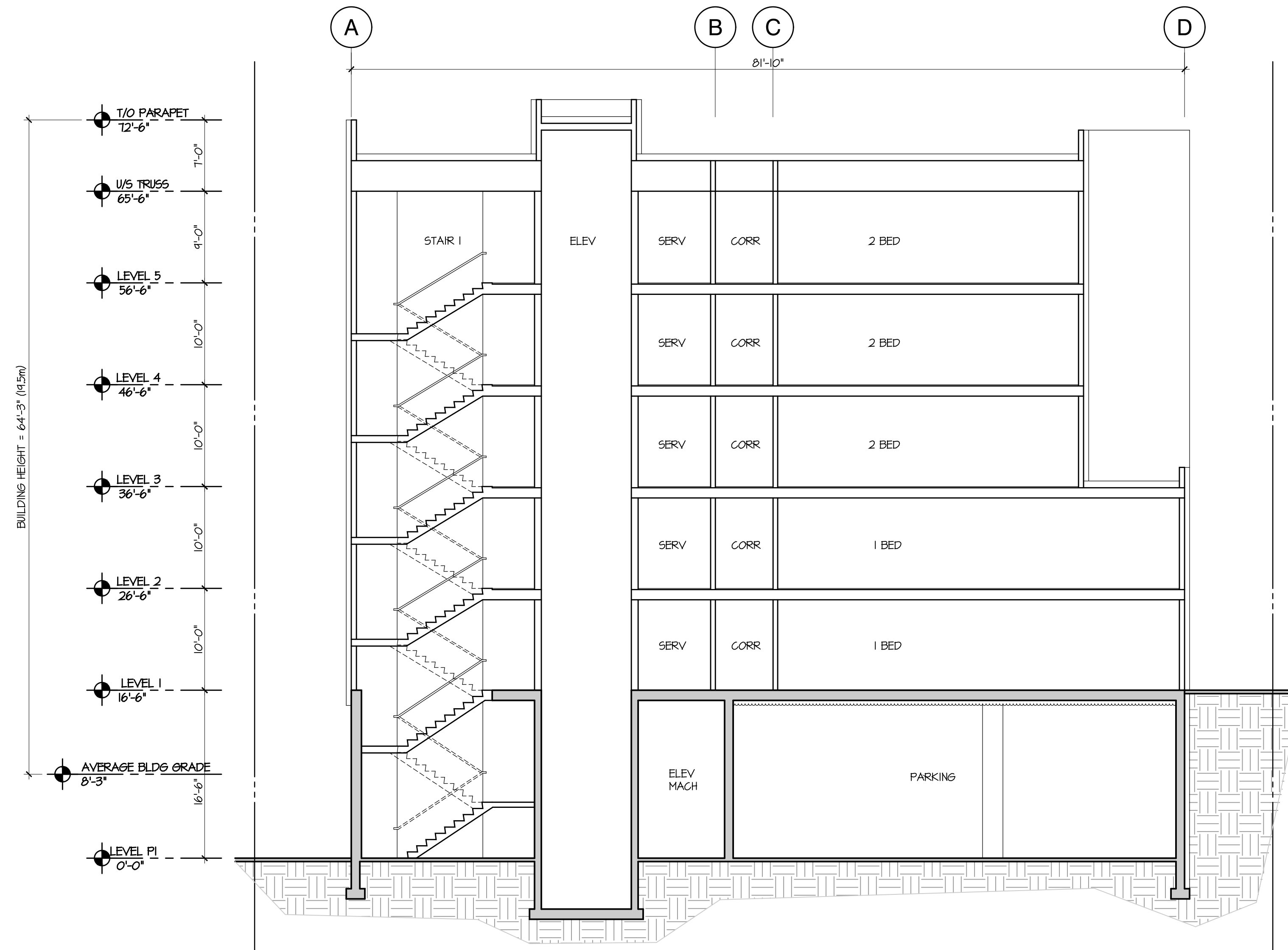
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PROJECT A223568

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CONSTRUCTION ASSEMBLIES	FIRE RATINGS	STC RATINGS
WALL ASSEMBLIES EX1 TYP. EXTERIOR WALL SIDING PER ELEVATIONS 1/8" METAL HAT TRACK THERMALLY BROKEN CLIP SYSTEM 2" RIGID MINERAL WOOL INSULATION S.A. VAPOUR PERMEABLE AIR/ MOISTURE BARRIER MEMBRANE PLYWOOD SHEATHING PER STRUCTURAL 2" X 6" WOOD STUDS PER STRUCTURAL C/M R22 BATT INSULATION VAPOUR BARRIER MEMBRANE 1/2" GNB WI TYP. INTERIOR WALL 1/2" GNB 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 1/2" GNB W2 TYP. INTERIOR WALL @ PLUMBING RISERS 1/2" GNB 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 1/2" GNB WB TYP. 1 HR RATED WALL 5/8" TYPE 'X' GNB 2"x6" WOOD STUDS @ 16" OC - SEE STRUCTURAL 5 1/2" THICK ABSORPTIVE MATERIAL 5/8" TYPE 'X' GNB PW1 RESIDENTIAL SUITE TO SUITE 5/8" TYPE 'X' GNB 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 3 1/2" THICK ABSORPTIVE MATERIAL 1" AIRSPACE 2"x4" WOOD STUDS @ 16" OC - SEE STRUCTURAL 3 1/2" THICK ABSORPTIVE MATERIAL SHEAR WALL SHEATHING PER STRUCTURAL 5/8" TYPE 'X' GNB PW2 RESIDENTIAL SUITE TO COMMON AREA 5/8" TYPE 'X' GNB RESILIENT CHANNELS 2"x6" WOOD STUDS @ 16" OC - SEE STRUCTURAL 5 1/2" THICK ABSORPTIVE MATERIAL SHEAR WALL SHEATHING - SEE STRUCTURAL 5/8" TYPE 'X' GNB	1 HOUR EBCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E & D-2.3.4.-G 1 HOUR EBCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E & D-2.3.4.-G 1 HOUR EBCBC APPENDIX D TABLE D-2.3.4.-A, D-2.3.4.-E & D-2.3.4.-G	30-34 51 TABLE 9.10.3.1-A TYPE W13a 50-54 NRCC TL-93-103
ROOF ASSEMBLIES R1 TYPICAL ROOF 2 PLY SBS ROOFING MEMBRANE ASPHALT PROTECTION BOARD 8" RIGID INSULATION (R50 TOTAL) AIR/ VAPOUR BARRIER (FULLY ADHERED TO SHEATHING AND AT PENETRATIONS, TYPICAL) PLYWOOD SHEATHING PER STRUCTURAL SLOPED WOOD TRUSSES PER STRUCTURAL 5/8" GNB R2 CANOPY ASSEMBLY 2 PLY SBS ROOFING MEMBRANE ASPHALT PROTECTION BOARD PLYWOOD SHEATHING PER STRUCTURAL ROOF JOISTS PER STRUCTURAL SOFFIT (PER ELEVATIONS) C/M STRIP VENTS	FIRE RATINGS FIRE RATINGS	STC RATINGS STC RATINGS
FLOOR ASSEMBLIES F1 CONCRETE SLAB ON GRADE FLOOR FINISH AS SPECIFIED CONCRETE SLAB PER STRUCTURAL 10 MIL POLY VAPOUR BARRIER (SEAL ALL JOINTS AND PENETRATIONS) APPROVED BEARING/ DRAINAGE MATERIAL PER CIVIL F2 TYPICAL RATED TJI FLOOR FLOOR FINISH AS SPECIFIED 1 1/2" CONCRETE TOPPING PLYWOOD FLOOR SHEATHING PER STRUCTURAL 11 1/8" TJI FLOOR JOISTS PER STRUCTURAL 3 1/2" ABSORPTIVE MATERIAL RESILIENT CHANNELS @ 24" O.C. 2 LAYERS 5/8" TYPE 'X' GNB	FIRE RATINGS FIRE RATINGS	STC RATINGS 69 TABLE 9.10.3.1.B F2Id



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DAGNY DEVELOPMENT CORP

800 THIRD AVENUE WEST
PRINCE RUPERT, B.C.
V8J 1M6 CANADA
TELEPHONE (250) 627-5225
FAX (866) 606-8925
E-MAIL ed@payne-group.com

To: BC Housing
Attn: Indigenous Housing Fund

Re: Letter of Support – 2nd Ave W Prince Rupert Proposal

To whom it may concern,

Please accept this letter of support for the Gitmaxmak'ay Nisga'a Society's application to construct a 40-unit affordable housing complex at their recently acquired 2nd Avenue West location.

We are supportive of the Society's proposal.

Prince Rupert desperately needs more housing. It is very challenging and expensive to build here because of geotechnical conditions such as muskeg, and our remote location at the end of Highway 16. Because of the very limited new construction in recent decades, Prince Rupert's housing stock is very old. Over ¾ of the houses here were built before 1980 so need serious repairs.

Furthermore, thanks to the growth of port-related industries, Prince Rupert is projected to grow significantly over the next decade, creating a higher demand for new housing and driving rental rates higher.

We know that Prince Rupert needs more housing for seniors to downsize from their homes, and more 2+ bedroom units for larger families. The Society's project meets both needs.

Lastly, our downtown needs revitalization. This project fills a gaping empty hole in our downtown caused by a hotel fire. Having a new apartment complex on this block will be good for the downtown, and good for residents who will be close to every amenity they might need without ever requiring a vehicle.

Thank you for your consideration.

Yours truly,

Dagny Development Corporation



Ed Hausner – Manager



April 25, 2024

To BC Housing:

RE: Letter of Support for Gitmaxmak'ay Nisga'a Society

I am writing on behalf of the North Coast Transition Society (NCTS) in support of Gitmaxmak'ay Nisga'a Society's application for forty units of housing through BCH Indigenous Housing fund.

The North Coast Transition Society is a major service provider for those experiencing poverty in the community. NCTS operates multiple supportive housing developments, anti-homelessness and addictions programming, provides support for women fleeing violence, as well as other counselling and advocacy programs.

Housing is a top three priority for Prince Rupert; and to see housing developments in the downtown core is beyond exciting. The benefits of having forty units downtown, especially for individuals who may lack mobility, will simplify life for many. This will create opportunities to enhance a sense of community in town and most importantly, homes for so many.

NCTS would be honored to provide any support to Gitmaxmak'ay Nisga'a Society in their newest venture. We have the experience of working with BC Housing on new builds and understand the undertaking that is involved.

We wish Blair and his team 100% success and we look forward to supporting them.

Grainne Barthe
Executive Director



INTERNATIONAL LONGSHORE & WAREHOUSE UNION, LOCAL 505

847 1st Ave West, P.O Box 505, Prince Rupert, B.C. V8J 3R2 Phone 250-624-3558 Fax 250-624-6913

May 9, 2024

Gitmaxmak'ay Nisga'a Society
#301-860 3rd Ave. West
Prince Rupert, BC. V8J 1M6

ILWU Local 505 is writing this letter supporting the proposed building of the new housing complex by the Gitmaxmak'ay Nisga'a Society. Along with the present building of the new International Longshore Hall, an additional modern building generated for long needed housing in the downtown area of Prince Rupert would be a tremendous addition.

Prince Rupert's downtown area has not seen many new major developments and to have two major projects in the same area filling an empty lot is superb.

In Solidarity,



Keith Cociani

President
ILWU Local 505

Phone (250) 600-6768

Fax (250) 624-6913

Email presilwu505@yahoo.com

P.O Box 505, Prince Rupert, BC
V8J3R2



May 6, 2024

Please accept this official letter from Community Futures Pacific Northwest in support of the Gitmaxmak'ay Nisga'a Society's proposed affordable housing development on 2nd Avenue West and 8th Street in Prince Rupert, BC.

Affordable housing is a critical infrastructure need and, with the proposed location being in the downtown core, this development will facilitate quick and efficient access to core amenities. The advancement of Indigenous-lead housing projects will remove the barriers to accessing affordable housing that are currently faced by Indigenous peoples.

Sincerely,

Zac Paolo | Business Development Officer
COMMUNITY FUTURES - PACIFIC NORTHWEST
t. 250 622 2332 e. zpaolo@rupertcf.com
100-515 3rd Avenue West, Prince Rupert, BC, V8J 1L9



April 13, 2024

To: BC Housing
Attn: Indigenous Housing Fund

Re: Letter of Support – 2nd Ave W Prince Rupert Proposal

To whom it may concern,

Please accept this letter of support for the Gitmaxmak'ay Nisga'a Society's application to construct a 40-unit affordable housing complex at their recently acquired 2nd Avenue West location.

We own a neighbouring property and are supportive of the Society's proposal.

Prince Rupert desperately needs more housing. It is very challenging and expensive to build here because of geotechnical conditions such as muskeg, and our remote location at the end of Highway 16. Because of the very limited new construction in recent decades, Prince Rupert's housing stock is very old. Over ¾ of the houses here were built before 1980 so need serious repairs.

Furthermore, thanks to the growth of port-related industries, Prince Rupert is projected to grow significantly over the next decade, creating a higher demand for new housing and driving rental rates higher.

We know that Prince Rupert needs more housing for seniors to downsize from their homes, and more 2+ bedroom units for larger families. The Society's project meets both needs.

Lastly, our downtown needs revitalization. This project fills a gaping empty hole in our downtown caused by a hotel fire. Having a new apartment complex on this block will be good for the downtown, and good for residents who will be close to every amenity they might need without ever requiring a vehicle.

Thank you for your consideration.

Respectfully,

Yours truly,
Inn on the Harbour

A handwritten signature in black ink, appearing to read "JP", is written over the printed name of Jack Payne.

Jack Payne
Managing Director



**909 THIRD AVENUE WEST
PRINCE RUPERT, BC
CANADA V8J 1C9
TEL (250) 627-1711
FAX (250) 627-4212
www.pacificinn.bc.ca**

April 13, 2024

To: BC Housing
Attn: Indigenous Housing Fund

Re: Letter of Support – 2nd Ave W Prince Rupert Proposal

To whom it may concern,

Please accept this letter of support for the Gitmaxmak'ay Nisga'a Society's application to construct a 40-unit affordable housing complex at their recently acquired 2nd Avenue West location.

We own a neighbouring property and are supportive of the Society's proposal.

Prince Rupert desperately needs more housing. It is very challenging and expensive to build here because of geotechnical conditions such as muskeg, and our remote location at the end of Highway 16. Because of the very limited new construction in recent decades, Prince Rupert's housing stock is very old. Over ¾ of the houses here were built before 1980 so need serious repairs.

Furthermore, thanks to the growth of port-related industries, Prince Rupert is projected to grow significantly over the next decade, creating a higher demand for new housing and driving rental rates higher.

We know that Prince Rupert needs more housing for seniors to downsize from their homes, and more 2+ bedroom units for larger families. The Society's project meets both needs.

Lastly, our downtown needs revitalization. This project fills a gaping empty hole in our downtown caused by a hotel fire. Having a new apartment complex on this block will be good for the downtown, and good for residents who will be close to every amenity they might need without ever requiring a vehicle.

Thank you for your consideration.

Respectfully,

Yours truly,
Pacific Inn Holdings Ltd.

Jack Payne
Managing Director

CITY OF PRINCE RUPERT

OFFICIAL COMMUNITY PLAN BYLAW AMENDMENT BYLAW NO. 3527, 2023

A BYLAW TO AMEND THE CITY OF PRINCE RUPERT OFFICIAL COMMUNITY PLAN BYLAW NO. 3460, 2021

The Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

THAT the City of Prince Rupert Official Community Plan No. 3460, 2021 be amended as follows:

1. Amend Map 1 by changing the land use of the lots legally described from a) to c) in this Bylaw from Industrial to City Core as indicated in Schedule A of this bylaw.
2. Amend Map 1A-B City Wide Land Use Framework, Map 1B Townsite Land Use Framework, Map 2 as well as Figures 1 & 5 in Appendix A City Core Development Guidelines to extend the Downtown District in the City Core Development Area to be inclusive of the lots legally described below in points a) to c) as indicated in Schedule B of this Bylaw.
3. Amend Waterfront Character Area borders as shown on Figures 1 & 10 of Appendix A City Core Development Permit Guidelines to incorporate the lots legally described below in points a) to c) as shown on Schedule B of this Bylaw.
4. Sections 1- 3 of this Bylaw apply to lots legally described as:
 - a. *PORTION OF LOT 1 WATERFRONT BLOCK E RANGE 5 COAST DISTRICT PLAN EPP117678*
 - b. *PORTION OF LOT 2 WATERFRONT BLOCK E DISTRICT LOT 1992 RANGE 5 COAST DISTRICT PLAN EPP117678*
 - c. *PORTION OF LOT 1 WATERFRONT BLOCK E DISTRICT LOTS 251 AND 1992 RANGE 5 COAST DISTRICT PLAN EPP128626*
5. This Bylaw may be cited as “City of Prince Rupert Official Community Plan Bylaw No. 3527, 2023”.

Read a First time this ____ day of _____, 20__.

Read a Second time this ____ day of _____, 20__.

Public Hearing this ____ day of _____, 20__.

Read a Third time this ____ day of _____, 20__.

Final Consideration and Adopted this ____ day of _____, 20__.

MAYOR

DIRECTOR OF CORPORATE
& LEGISLATIVE SERVICES

CITY OF PRINCE RUPERT

ZONING AMENDMENT BYLAW NO. 3528, 2023

A BYLAW TO AMEND THE CITY OF PRINCE RUPERT ZONING BYLAW NO. 3462, 2021

The Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

That the City of Prince Rupert Zoning Bylaw No. 3462, 2021 be amended as follows:

1. Add Section 7.2 WT: Waterfront Transportation Zone under Section 7: Marina District as outlined in Schedule A of this bylaw.
2. Amend "Schedule B" Zoning Map by rezoning the lots legally described in a-f below from M3 - Waterfront Industrial Zone to WT: Waterfront Terminal zone as indicated in Schedule B of this bylaw
 - a. LOT 1 WATERFRONT BLOCK E RANGE 5 COAST DISTRICT PLAN EPP117678
 - b. LOT 2 WATERFRONT BLOCK E DISTRICT LOT 1992 RANGE 5 COAST DISTRICT PLAN EPP117678
 - c. LOT 1 OF WATERFRONT BLOCK E DISTRICT LOT 251 AND OF WATER LOT IN FRONT OF WATERFRONT BLOCK E RANGE 5 COAST DISTRICT PLAN PRP13264 EXCEPT PLAN BCP42388
 - d. LOT 1 WATERFRONT BLOCK E DISTRICT LOTS 251 AND 1992 RANGE 5 COAST DISTRICT PLAN EPP128626
 - e. PORTION OF WATERLOT IN FRONT OF WATERFRONT BLOCK E RANGE 5 COAST DISTRICT SHOWN GREEN ON PLAN 1161 EXCEPT PLANS 1479 12385 PRP13264 PRP46310 PRP46329, PRP46986 AND EPP117678
 - f. PORTION OF WATERFRONT BLOCK E DISTRICT LOTS 251 AND 1992 RANGE 5 COAST DISTRICT PLAN 923 EXCEPT: PARCEL A (SEE 48486I), THE MOST WESTERLY 100 FEET, PLANS 1161, 1479, 1556, 1617, 1965, 3042, 4083, 5141, 5331, 10704, 12385, PRP13264 PRP14466 PRP41863 PRP46310 PRP4632
3. Amend "Schedule B" Zoning Map of City of Prince Rupert Zoning Bylaw No. 3462, 2021 by rezoning the lots legal described below a) – d) from C1 - Core Commercial Zone to WT - Waterfront Terminal Zone as indicated in Schedule B of this bylaw
 - a. LOT 2 DISTRICT LOT 251 RANGE 5 COAST DISTRICT PLAN PRP46986

Schedule A

- b. LOT A DISTRICT LOTS 251 AND 1992 RANGE 5 COAST DISTRICT PLAN BCP42388
- c. LOT 1 DISTRICT LOTS 251 AND 1992 RANGE 5 COAST DISTRICT PLAN PRP46986 EXCEPT PLAN BCP42388

4. This Bylaw may be cited as “City of Prince Rupert Zoning Amendment Bylaw No. 3528, 2023”.

Read a First time this ____ day of _____, 20__.

Read a Second time this ____ day of _____, 20__.

Public Hearing this ____ day of _____, 20__.

Read a Third time this ____ day of _____, 20__.

Final Consideration and Adopted this ____ day of _____, 20__.

MAYOR

DIRECTOR OF CORPORATE
& LEGISLATIVE SERVICES

Schedule A

7.2.0 Waterfront Terminal Zone

Permitted Uses:

Subject to general provisions, the following principal uses and no others are permitted:

- a) Ferry terminal
- b) Retail use
- c) Distillery
- d) Brewery
- e) Outdoor markets
- f) Parks and recreation facilities
- g) Marina

The following accessory uses and no others are permitted:

- a) Office
- b) Personal Service Establishment
- c) Accessory buildings and structures.

Minimum Dimensions Required for Yards

An accessory building and structure shall be 3.0 metres from rear property line, or 0.3 metres if the accessory building abuts a public lane.

Maximum Building Height:

- (a) Principal building 9 metres.
- (b) Accessory building 3.6 metres.



CITY OF PRINCE RUPERT

TRADE AND LICENCING BYLAW NO. 3532, 2024

A BYLAW RESPECTING LICENCES FOR CARRYING ON BUSINESSES WITHIN THE CITY OF PRINCE RUPERT AND FOR FIXING FEES FOR SUCH LICENCES

The Council of City of Prince Rupert in open meeting assembled, enacts as follows:

1. This Bylaw may be cited for all purposes as “**TRADE AND LICENCING BYLAW NO. 3532, 2024**”
2. That the “Schedule A – Trade or Business Licencing Regulations” attached to and forming part of this Bylaw comes into force upon final consideration and adoption.
3. That the “Schedule B – Fee Schedule”, attached to and forming part of this Bylaw comes into force upon final consideration and adoption.
4. That the City of Prince Rupert Zoning Bylaw 2426, 1982 and any amendments thereto are repealed.

READ A FIRST TIME this ___ day of _____, 2024.

READ A SECOND TIME this this ___ day of _____, 2024.

READ A THIRD TIME this _____ day of _____, 2024

READ A FOURHT & FINAL TIME this _____ day of _____, 2024.

Mayor

Corporate Officer

SCHEDULE A – TRADE OR BUSINESS LICENCING REGULATION

DIVISION I - DEFINITIONS

1.01 In this Bylaw, unless the context otherwise requires, the following words or terms include the meaning hereby assigned to them and each definition represents a separate and distinct business classification.

Adult Entertainment Service includes any person who carries on the business of providing, or offering to provide, services intended for adults, including but not limited to; back or body rubs or massage, lingerie modelling, exotic dancing or escorts for dining, dancing, conversation and companionship.

Agent includes a person who is the local appointed representative of a company not licensed to do business within the City of Prince Rupert who sells or offers for sale, solicits, or takes orders for any such company.

Airline includes transportation or air passenger and freight service with scheduled or charter flights.

Amusement Centre includes any premises which are used for the entertainment of the public including poolrooms, billiard rooms, or any building containing pinball or video game machines (or electronic machines) or other Group B vending machines numbering independently or together five (5) or greater.

Assembly Hall includes any premises occupied or used by a gathering of persons for civic, political, travel, social, religious, educational, recreational or like purposes, but does not include any other use or premises otherwise defined in this Bylaw.

Automobile Sales and Service includes automobile repairs, sales of new and used cars, trucks, campers, recreational vehicles, tourist trailers, parts or other automobile supplies of any kind, gasoline service station, self-serve, car wash and polish, tire and body shop and muffler shop.

Auto Body Shop includes any premises which repair the framework and or body of any automobile.

Automobile Tow Truck includes the operation of a motor vehicle equipped for hoisting and/or towing of other motor vehicles, trailers, machinery or other equipment.

Automobile Tow Truck Compound includes any premises used for storing or storage or sale of inoperable motor vehicles, trailers or parts of any such, but specifically excludes any business defined herein.

Bank: includes premises which receive, lend and otherwise take care of money, and are governed by the "Bank Act".

Banquet Hall: includes any premises not defined herein as a restaurant wherein catering service is available.

Barber Shop or Beauty Parlour: includes any premises where barbering, hairdressing, manicuring, massaging, cleansing or beautifying of the scalp is carried on.

Bingo Hall: includes any premises which is used for the purpose of holding or providing space for Bingo Games.

Boat Rental and Charter: includes the leasing or hiring of boats by the day or week, or any other specified rate.

Boat Work and Repair: includes building and repair of boats.

Boat Sales: includes any premises which are used for the sale of boats.

Bowling Alley: includes any premises which are used for the game of bowling.

Building Rental:

- a) Apartment Houses: includes any premises containing long-term rental dwelling units designed, used or occupied as a home of persons living independent of each other. This excludes lodging house, hotel or motel as defined herein, and exemptions outlined under the City of Prince Rupert Business Regulation and Licencing Bylaw as amended from time to time.
- b) Hotels - Motels: includes any premises other than apartment or lodging houses as defined herein comprising of not less than four sleeping units normally occupied temporarily by tourists or transients.
- c) Lodging Houses: includes boarding and rooming houses, and any premises whether completely or partially furnished, used or designed for the purposes of accommodating for consideration, boarders or lodgers.
- d) Office - Commercial Warehouse: includes the letting or rental of offices, warehouses, suites or rooms for commercial purposes in any premises where two or more non-dwelling rental units are available for rental purposes.
- e) Short-term Rental includes the letting or rental of a dwelling unit or sleeping unit for less than 90 days.
- f) Bed and Breakfast: includes any premises containing no more than two (2) sleeping units used within a principle residence, or intended to be used, for short-term rental to tourists or other transient guests with a breakfast meal being provided.

Building Supply: includes any premises which sell building material, either by way of wholesale or retail.

Business: includes the carrying on of a commercial or industrial undertaking of any kind or nature or the providing of professional, personal or other services for the purpose of gain or profit.

Cannabis has the same meaning as in the Cannabis Act, SC 2018, c. 16, subject to any prescribed modifications.

Cannabis Retail Store includes any business subject to the regulations of the Cannabis Control and Licensing Act and where the principal business is the retail sale of cannabis

for consumption off-site, and includes both government-operated and private establishments.

Carrying on Business: without restricting the generality of the term includes any person who advertises themselves by newspaper publicity or otherwise, as open for business of any kind, or who deals in, or buys, sells, barter or displays or offers by advertisement or otherwise, to buy, sell or barter commodities or other things of any kind, either on behalf of themselves or of any other person or who advertises themselves as open to render professional or other services to any other person.

Catering Service: includes the business of providing, off the premises at which the licensee is licensed to carry on business, of prepared food and beverages to a group of people for consumption.

Circus and Carnival: includes exhibiting a public circus, menagerie or hippodrome or operating any carnival or show having mechanical riding devices or games of skill or chance.

City: means the City of Prince Rupert.

Clubs: includes all persons united for a common purpose of mutual benefit; or premises occupied by such persons, provided however that this clause shall not apply to any organization incorporated under the "Society Act."

Commercial Office: includes any premises which is used for the purpose of offering services of a clerical, business and administrative nature.

Council: means the City of Prince Rupert Council.

Contracting Services:

General Contractor includes a person or company primarily engaged in the business of general building construction or general engineering construction in the sense that contracts are entered into to provide substantially complete services involving responsibility for a number of recognized building or engineering trades under one contract, and shall include such person carrying out general building construction whether such construction is carried out for themselves or others.

Contractor includes a person primarily engaged in the provision of trade or general construction services directly to a client.

Sub-Contractor: includes a person contracted by a general contractor and primarily engaged in one of the following trades, of which each require a separate fee:

- | | | | |
|----|-----------------|-----|-----------------------------------|
| 1. | Acoustics | 24. | Land Clearing |
| 2. | Alteration | 25. | Landscaper |
| 3. | Blasting | 26. | Lather |
| 4. | Brick | 27. | Mechanical Equipment Installation |
| 5. | Building | 28. | Metal Worker |
| 6. | Building Movers | 29. | Oil Worker |
| 7. | Bulldozing | 30. | Painter |
| 8. | Cabinet-maker | 31. | Paver |

9.	Carpenter	32.	Pipeline
10.	Concrete	33.	Plumber
11.	Demolition	34.	Roofing
12.	Diving Contractor	35.	Sand Blaster
13.	Drilling	36.	Sanitary Engineer
14.	Drywall/Plasterers	37.	Sewer and Drains
15.	Electrical	38.	Shingler
16.	Excavating	39.	Tile Setter
17.	Floor layer	40.	Tree Surgeon
18.	Gas Fitter	41.	Truck Driver
19.	Glazing	42.	Welder
20.	Heating	43.	Other
21.	Insulation	44.	Heavy Duty Mechanic
22.	Interior Decorator	45.	Boat/Marine Mechanic
23.	Iron Worker		

Child Care Service includes any person in the business of caring for, during the day, three (3) or more children not related by blood or marriage to the person carrying on the business.

Delivery Service includes the local transportation of merchandise or other articles from a commercial premise to a residential premise.

Express or Freight Company includes the transportation and storage of goods, other than defined under delivery service.

Financial Institution: includes all Trust Companies, Credit Union, Mortgage Broker or any other General Finance Company, except for Banks, which are defined herein.

Fishing Company: includes fish processing plant, canning and storage of fish.

Fitness Centre: any premises in which facilities are provided for recreational athletic activities including but not limited to body-building and exercise classes and shall include associated facilities such as a sauna and solarium (tanning apparatus).

Floor Space: means the floor area used for the carrying on of a business, and shall include any ground area or outdoor area used for display or storage of goods or other wares.

Fuel Service: includes the business of storage of fuels, oils, etc. or other petroleum products for eventual use or sale, whether or not the service delivers to the retail outlet.

Funeral Home: includes any premises designed for the purpose of furnishing funeral supplies and service to the public and includes facilities intended for the preparation of the dead human body for interment or cremation.

Gaming or Gambling Establishment: any premises or portion thereof wherein or whereon gaming is carried out.

- a) Games Areas: includes any premises where in addition to a licenced business there is provided therein more than one (1) but less than five (5) Group B vending machines for the entertainment of the public, including pool tables, billiard tables,

pinball or videogame machines or any other amusement - vending mechanical, electrical, automatic or computerized game machines.

Garden Supplies includes the selling of plants, shrubs or other garden material either by retail or wholesale.

General Building Construction includes the erection, finishing, alteration and addition to buildings and structures wherein more than one recognized building trade is involved at any one time.

General Engineering includes consulting or engineering of construction on towers, bridges, wharves, pipeline works and the like, wherein more than one recognized engineering trade is involved at any one time.

Ground Area means the ground used for the purpose of carrying on of the business.

Group Care Home includes the business of providing care, food or lodging to three (3) or more persons not related by blood or marriage to the person carrying on the business.

Home Occupation means any permitted business, trade or profession carried on within a dwelling unit or accessory building to a dwelling unit. A home occupation must clearly be an ancillary use to the residential use of the dwelling unit or to the residential use of the lot occupied by the dwelling unit. A home occupation may be one of two types: 1) home office; 2) home business and must conform in all respects with the provisions of the Zoning Bylaw of the City of Prince Rupert.

Janitorial Service includes the providing of services pertaining to the cleaning or commercial or residential premises.

Laundry and Dry-Cleaning Establishment includes any premises where pressing, cleaning, dyeing or washing of clothing or other fabrics is carried on and includes premises where the business of linen supply is carried on.

Laundromat includes coin operated or operator operated laundry or dry-cleaning establishments.

Liquor Outlet includes operating as a business one of the following: liquor primary establishments (including public housing, clubs, and lounges), liquor retail stores, and U-Brew or UVin establishments and is further classified as follows:

- a) Commercial Liquor Outlet - the business of operating a liquor outlet primarily for gain or profit.
- b) Societal Liquor Outlet - means a liquor outlet operated by community organizations whose carrying on of such business is incidental to their general activities.

Log Scaling and Booming includes log scaling and booming grounds.

Licence Inspector means the person appointed as Licence Inspector by the Council of the City of Prince Rupert to administer and enforce the provisions of this Bylaw.

Machinery and Equipment Rental includes rental and/or sales of machinery or equipment.

Manufacture includes assembling, manufacturing, producing or finishing goods, substances of things or any part thereof, and includes asphalt or concrete Batching Plants.

Mobile Sales and Service includes a person who uses a motor vehicle to go from place to place offering for sale merchandise or service other than a delivery vehicle owned and operated by a licensed retailer or wholesaler within the City of Prince Rupert.

Newspaper Publisher includes newspaper which is printed and published within the City of Prince Rupert.

Non-Resident Business means a business, other than a resident business, carried on within the City of Prince Rupert or with respect to which any work or service is performed within the City.

Not-for-Profit means an organization operated on a cost-recovery basis and not seeking profit, and can include Registered Non-profits, Charities, and Societies.

Pawn Broker includes any premises used for buying used goods for resale purposes, or loaning money against goods or chattels.

Peddler includes a person who, being either resident or non-resident, is engaged in the business of selling direct to the public by calling from premises to premises, or by setting up a temporary business on property in order to expose samples, take orders, offer for sale goods, wares, or merchandise of any kind.

Person in addition to its usual connotation, includes a firm or partnership, association, company, society, or body corporate.

Personal Grooming Establishment any premises, other than a barber shop or beauty parlour, providing forms of personal grooming including make-up, manicure, pedicure, facials, tanning, electrolysis and including counselling in respect of such grooming.

Pet Shop any premises where animals or birds for use as pets are sold, kept for sale or groomed, but does not include a place for the breeding or overnight boarding of pets.

Photo Studio includes any premises used for the taking of photographic portraits and for the sale by retail of photographic materials.

Premises includes a store, office, warehouse, factory building, enclosure, yard, house or other place or any part thereof occupied or used by any person for the purpose of any business, trade or occupation, and also includes any area situated within any of the foregoing where more than one separate and/or distinct class or classification of business is carried on.

Print Shop any premises that provides duplicating services using photocopy, blueprint, and offset printing equipment, including collating of booklets and reports.

Garbage Collection and Service includes providing for the contracting by a person for the collection and removal of garbage and/or effluent.

Professional includes a person practising any profession governed by federal or provincial statutes, and includes the following:

- | | |
|---|-----------------------------|
| 1. Accountant | 16. Librarian |
| 2. Architect | 17. Medical Specialist |
| 3. Agrologist | 18. Physician |
| 4. Appraiser | 19. Optician |
| 5. Auctioneer | 20. Physiotherapist |
| 6. Business Consultant | 21. Psychologist |
| 7. Chiropractor | 22. Psychiatrist |
| 8. Chemical | 23. Public Relations |
| 9. Dental laboratories | 24. Agent |
| 10. Dental Mechanic | 25. Real Estate Agent |
| 11. Dental Surgeon | 26. Refractionist |
| 12. Design and Drafting | 27. Solicitor/Barrister |
| 13. Engineer – civil, forest, marine,
mining, electrical | 28. Surveyor |
| 14. Forester | 29. Broker |
| 15. Insurance Agent | 30. Insurance Salesperson |
| | 31. Real Estate Salesperson |

Professional Office means a business providing professional services which employs more than one person classified as a professional.

Public Utility includes telephone company, electric company, waterworks company or gas company.

Radio and T.V. Broadcasting includes radio or television broadcasting and soliciting of business and advertising therefore.

Resident Business means a business carried on, in or from premises within the City of Prince Rupert.

Restaurant, Café includes any premise where prepared food and/or beverages are provided and served to the public primarily for consumption on the premises, in exchange for money.

Retail Sales includes any dealing in commodities for resale to the general public for personal or household consumption, excluding anything otherwise defined herein.

Services from Business Area includes the provision of miscellaneous services and minor sales of merchandise or equipment parts. Without limiting the generality of the foregoing, may include the following, but excludes anything else defined herein:

- | | |
|---------------------------|---|
| 1. Carpet Laying/Cleaning | 16. Mechanical Repair (other than automotive) |
| 2. Credit Reporting | 17. Office Machine Repair |
| 3. Coffee Service | 18. Parking Lots |
| 4. Computer Service | 19. Pest Control |
| 5. Consulting | 20. Refrigeration Rental Business |
| 6. Electrical Service | 21. Research |

- | | |
|--------------------------|---|
| 7. Furnace Repair | 22. Shoe Repair |
| 8. Health Spa | 23. Sign Painting |
| 9. Hearing Aid | 24. Storage Locker Rental |
| 10. Janitor Service | 25. Scrap Metal |
| 11. Job Printing | 26. Security Service |
| 12. Kennels | 27. Telephone Answering Service |
| 13. Landscaping and Lawn | 28. Tax Service (other than Accountant) |
| 14. Lab testing Service | 29. Travel Agent |
| 15. Lock Specialist | 30. Upholstery |

Service or Repair Shop an establishment for servicing, repairing, installing or renting things and equipment, including but without limiting the generality of the foregoing, the following: radio, television or computer service or repair shops, locksmith shops, small appliance service or repair shops.

Service Shop, Heavy an establishment for servicing or repairing any of the following: tires, including vulcanizing or retreading, batteries, brakes or radiators, automotive ignition, exhaust or electrical systems, outboard motors, furnaces or oil burners, water or air coolers or domestic water heaters, fixtures or equipment pertaining to any of the above or any like articles.

Sleeping unit means a unit primarily used for sleeping, containing sleeping and sanitary facilities, but no kitchen as defined within the City of Prince Rupert Zoning Bylaw.

Storage Area includes buildings and ground area used for storing of commodities.

Taxi Stand includes any premises used for dispatching of taxis.

Telemarketing the business of soliciting sales, services or donations through the use of telephones

Theatre includes any premises which are used for the showing of theatrical, operatic or vaudeville performances or moving pictures or for similar purposes.

Tire Marshalling Yard means a facility for the temporary storage of scrap tires en route from tire retailers to scrap tire processors.

Trailer Court includes any land used for the parking of mobile homes, recreational vehicles, and campers.

Transportation Marine Company includes transporting freight and passengers.

Unclassified includes carrying on of a commercial or industrial undertaking of any kind or nature or the providing of professional, personal, or other services for the purpose of gain or profit, not otherwise defined in this Bylaw.

U-Drives means a motor vehicle which may be rented or leased by the hour, day, week, or month, without a driver and includes cars, trucks, and recreational vehicles.

Vehicles for Hire means a vehicle used for the carrying, transportation or conveyance of persons and their property for hire with a driver.

Vending Machine: - Group "A" includes any device operated by the insertion of a slug or coin and operated mechanically which dispenses goods. No separate licence is required if the vending machine(s) is owned and operated by a holder of a valid licence, when situated within the area licensed.

Vending Machine: - Group "B" includes any device operated mechanically or electronically which does not dispense any goods but is used for entertainment purposes. No separate licence is required where the machine(s) is owned and operated by the holder of a valid amusement center licence, or games areas licence when situated within the area licensed.

Vending Machine Agency includes the business of renting, leasing, selling or otherwise placing vending machines in any premises within the City for purposes of gain or profit.

Warehouse includes the storage of goods, etc. for which payment is usually made.

Wholesale includes dealing in any commodity by selling such commodity to retail dealers or to other manufacturers for resale or for use in their businesses.

Yacht Club: includes any premises used as the meeting place for an association of persons united by a common interest in boating and shall include provisions for the land and/or water storage of marine crafts."

- 1.02 In this Bylaw, where the context requires the singular includes the plural and the neutral includes the feminine and the masculine.

DIVISION II - GENERAL REGULATIONS

2.01 Licence Required

No person shall carry on business within the City of Prince Rupert any business defined in the definition section of this Bylaw without having first obtained a City of Prince Rupert Trade Licence, and paid a licence fee as provided for such business under Schedule B of this Bylaw.

2.01.1 Compliance with Other Laws

No person shall be entitled to receive a Trade Licence unless they meet the lawful requirements to carry on that business under all applicable Municipal, Provincial and Federal laws pertaining to that business.

2.02 **Licensing**

- a) **Licence** - Every licence granted pursuant to this Bylaw shall state that the holder is licensed to carry on the business stipulated therein in a lawful manner for the period specified at the premises therein stated.
- b) **Additional Business** - Any person who carries on more than one business in or from any one premises shall obtain a separate licence for each business.
- c) **Separate Licence** - For the purpose of this Bylaw, where a business is carried on, in or from, more than one premises in the City of Prince Rupert, the business carried on in or from each premises shall be deemed a separate business.
- d) **Transfer** - A licensee may make application to the Licence Inspector to have a licence in respect of premises transferred from the premises to other business premises to be occupied by the licensee, and on the making of the application and payment of the sum of \$10.00, and on proof to the satisfaction of the Licence Inspector that the premises to which the applicant wishes to transfer the licence comply with the requirements of the Bylaws of the City regulating building, zoning, health, sanitation and business, the Licence Inspector shall approve the transfer.
- e) **Display Licence** - The licence holder or person in charge or control of premises where the business is carried on or practised shall at all times keep the licence or licences prominently displayed in the sales or reception area of the premises to which the public have access.
- f) **Notify Changes** - Every holder of a licence shall notify the Licence Inspector of any changes in the mailing or business address, the classification of the business, area of premises, the number of people or machines used in operation of the business or any alteration of the premises in which the business is carried out, and upon termination of the business, shall notify the Licence Inspector that the licence is no longer required and shall surrender the licence to the Licence Inspector.
- g) **Fee Changes** - Where the licence fee for any business licensed herein is based on the number of chairs, seats, units, tables, apartments, rooms or the capacity of accommodation available or area of premises, every person shall, immediately after the completion of any change in number of chairs, seats, units, tables, apartments, rooms or the capacity of accommodation available or area of premises or any other condition upon which the said licence fee is based, notify the Licence Inspector and pay the additional fee which may be payable under this Bylaw as a result of this change.
- h) **Persons Employed** - Every person carrying on a business under this Bylaw, in which the licence fee is based upon the number of persons employed or engaged in the business, shall, before the first day of January of each and every year, advise the Licence Inspector as to the number of persons engaged in their respective businesses and the names and addresses of such persons.
- g) **Period** - Except as hereinafter provided, licences shall be granted for a one-year period, to commence on the first day of January and to terminate on the thirty-first day of December in each and every year unless otherwise noted in this section. The licence fee prescribed in this Bylaw shall be reduced by one-half in respect of

a person who becomes liable to be licenced after the thirty-first day of July in any year. No licence fee paid hereunder shall be refundable.

- b) Show - The period for a licence in respect of and including a carnival or circus shall be for one day.

2.03 **Application**

- a) Form - Every person applying for a licence shall complete the form(s) supplied by the City for such purpose.
- b) Payment - No licence shall be issued until the fee therefore, as set out in Schedule B of this Bylaw, has been paid to the City.

2.04 **Enforcement**

The Licence Inspector is hereby authorized to enter at all reasonable times, upon any premises in order to ascertain whether the provisions of the Bylaw are being obeyed.

2.05 **Suspension**

- a) The Licence Inspector may grant a licence where they are satisfied that the applicant therefore has complied with the requirements of the Bylaws of the City regulating building, zoning, health, sanitation and business, and may suspend for such period they may determine any licence if the holder of the licence;
 - i) is convicted of any offence under any municipal Bylaw or Statute of the Province in respect of the business for which they are licenced or with respect to the premises named in this licence;
 - ii) has ceased to meet the lawful requirements to carry on business for which they are licensed or with respect to the premises named in the licence.
 - iii) has failed to pay their renewal fee or application fee within the specified time period for renewal.
- b) Appeal - Any person whose licence has been suspended under this section may appeal to the Council by submitting a written request to appear before Council by the next regular Council Meeting, and upon notification of the meeting time and place, they shall appear before Council and present their reasons for the appeal, and upon such appeal the Council may confirm or set aside such suspension on such terms as it may deem fit.
- c) Revoke - The Council may revoke a licence for reasonable cause after giving notice to the licensee and after giving the licensee an opportunity to be heard.
- d) The notice and opportunity to be heard referred to in subsection (c) of this section is not required in respect of the licensee who by reasonable efforts cannot be found.
- e) The suspension of a licence by the Licence Inspector shall be made in writing, signed by the Inspector and served on the person holding such licence or delivered to the holder of such licence by registered mail to the address given by the licensee

in the application of the licence. A notice of such revocation or suspension of licence may be posted by the Licence Inspector upon the premises for which the licence was issued and such notice shall not be removed until the licence is reinstated, the former licensee ceases to occupy the premises, or a new business other than the one carried on by former licensee is started on the premises.

DIVISION III - REGULATIONS OF BUSINESS

3.00 Adult Entertainment Service

Every person carrying on the business of, or operating, an Adult entertainment Service shall:

- a) supply the License Inspector with the name, age, address and general description of every person proposed to be employed in said business;
- b) notify the License Inspector within forty-eight (48) hours of any change in the personnel employed in the said business;
- c) not have been convicted of any criminal offence pertaining to the operation of an Adult Entertainment Service; and,
- d) not hire or employ any person who has been convicted of any criminal offence pertaining to the operation of an Adult Entertainment Service.

3.01 Advertising

No person or their representative shall advertise the carrying on of a business in any publication, general circular, by radio or any other media without first obtaining a Trade Licence.

3.02 Building Rentals

- a) For the purpose of this Bylaw persons occupying space in a building of which they are the owners shall not be deemed to be carrying on the business of "Building Rental" in respect of that space which the person occupies, with the exception of Bed and Breakfast and Short-Term Rentals.
- b) Any person carrying on the business of Short-Term Rentals shall, prior to being issued a Trade License for any licensing period, demonstrate compliance with the City of Prince Rupert Zoning Bylaw, as amended from time to time.
- c) Any person carrying on the business of a "Bed and Breakfast" shall, prior to being issued a Trade License for any licensing period, demonstrate compliance with the following:
 - i.) Regulations contained in the Food Premises Regulations and Swimming Pool Regulations pursuant to the Health Act, and in accordance with any

regulations of the Office of the Fire Commissioner.

- ii.) The guest rooms shall be inspected and approved by the City Fire Department, the City Building Inspector and the Provincial Electrical Inspector.
- iii.) No sale of alcoholic beverages will take place on site.
- d) Any person carrying on the business of "Apartment Rental" shall, prior to being issued a Trade License for any licensing period, demonstrate compliance with the City of Prince Rupert Business Regulations & Licensing Bylaw, as amended from time to time.
- e) Any building rental for short-term accommodation, including without limitation Short Term Rentals, Bed and Breakfasts, and Hotels/Motels, are subject to the Municipal and Regional District Tax program.

3.03 **Carnival or Circus**

- a) A circus or carnival shall maintain a Comprehensive Liability Policy of Insurance for five million dollars (\$5,000,000.00) inclusive limits, covering bodily injury, death and property damage including loss thereof and shall produce proof of such insurance to the Licence Inspector when asked to do so.
- b) A circus or carnival representative shall ensure that each carnival ride has the elevator inspection plate showing the last inspection of the ride.

3.04 **Delivery Service**

Every vehicle used in delivery service shall have the name of the licensed operator thereof printed in letters at least five (5) centimetres in height upon both sides of the vehicle.

3.05 **Highways**

No person shall offer for permanent sale any goods or merchandise except newspapers, on the highways within the boundaries of the City of Prince Rupert, unless they first obtain appropriate permits from City of Prince Rupert for that purpose.

3.06 **Occupancy Permit**

No person shall occupy or permit occupancy of a new or remodelled premise for the purpose of carrying on a business unless an Occupancy Permit has been issued for such a premise by the Building Inspector.

3.07 **Peddler**

- a) No peddlers shall sell merchandise or take orders for merchandise door-to-door within the City after the hour of six (6:00) p.m. Monday to Thursday inclusive or on Saturday, or after nine (9:00) p.m. on Friday.
- b) Any peddler shall, when conducting or attempting to conduct business;
 - i) state to any person with whom they are conducting or attempting to conduct business the name of the business or other organization with whom they are associated, affiliated or representing.
 - ii) state to any person with whom they are conducting or attempting to conduct business their full legal name, consisting of all personal names and surname.
 - iii) have affixed to their clothes and clearly visible to the public, an identification card on which is printed their full legal name, and on which is affixed their photograph.
 - iv) display to any person enquiring a copy of the business licence displayed hereunder.
 - v) have a letter of permission from a property owner when setting up business on private property.

3.08 **Retail Sales**

Any business licensed for retail sales must have all of the commodities totally enclosed within the building and not have any permanent outdoor storage yards, excluding anything otherwise defined herein.

3.09 **Second-Hand Dealers and Tow Truck Compounds**

- a) Every licensed Second-hand Dealer shall keep a record on sheets or forms approved by the Licence Inspector to be known as the "The Second-Hand Dealer's Registration" in which shall be entered in the English language, written in legible hand or typewritten, a record of goods received, purchased or taken in exchange, and shall include in addition to the date of purchase, receipt or exchange, a full description of the article or articles. This Register shall include the name of the maker and the serial number, if known or can be ascertained, and the name, address and general description of the person from who the purchase was made.
- b) The Second-hand Dealer's record forms shall be a permanent record and the Dealer shall be responsible that the permanent record is not mutilated or destroyed. It shall be open to inspection by members of the Police Force and the Licence Inspector at all times during regular business hours and may be removed at any time by members of the Police Force for inspection, or use in Courts if necessary.
- c) For the purpose of this section, it shall apply to Second-hand Stores and Towing Truck Compounds.

3.10 **Home Occupation**

No person shall carry on a business from a residence unless it meets all requirements of Home Occupations with the City of Prince Rupert Zoning Bylaw.

3.10.5 **Tire Marshalling Yards**

Carrying on the business of, or operating a tire marshalling yards is subject to the following regulations:

- a) the maximum number of tires accumulated and retained at any time shall not exceed 5,000;
- b) no tires or stockpiles of tires shall be visible from any public street or road;
- c) there shall be no less than 6 metres of clear and unobstructed space between any stockpile and all other stockpiles and all other aggregations of products, substances or materials, and there shall be no less than 6 metres of clear and unobstructed space between any stockpile and any buildings and structures, and all property lines.
- d) all tires shall be enclosed within a minimum 1.8-metre-high, non-transparent fence or other suitable barrier to prevent unauthorized entry, gated with a minimum 3.6-metre-wide gate. The gate shall be locked whenever the yard is unattended;
- e) no stockpile shall exceed:
 - i) 300 cubic metres in volume;
 - ii) 100 square metres in area; and,
 - iii) 3 metres in height.
- f) tires stored for more than 90 days and in piles of more than 90 cubic metres shall be ricked unless otherwise shredded, cut, ground, or otherwise broken down;
- g) stockpiles shall not be located under any power lines; and
- h) approval of any site proposed as a tire marshalling yard is subject to the approval of the City of Prince Rupert Fire Chief.

3.11 **Vehicles for Hire**

Vehicle for Hire Operation Licences will be issued and regulated in accordance with the City of Prince Rupert "**VEHICLES FOR HIRE REGULATION BYLAW**" as amended from time to time.

3.12 **Vending Machines**

- a) No person shall own, keep or maintain any vending or amusement machines unless there has been imprinted thereon, the name, address and telephone number, of one or more of the following:

- i) The owner, if a resident of the City.
 - ii) An agent of the owner, who is a resident of the City, provided that this provision shall not apply to vending machines owned by, and operated within, an amusement centre, or if the machine dispenses to or services only the owner of such a machine or their employees.
- b) Every person who is the owner or operator of any vending machines shall notify the Licence Inspector before the first day of January in each and every year as to the number of machines in operation.

3.13 **Manufacturers**

No person manufacturing, processing or maintaining other industrial premises shall allow the waste from their plants to accumulate around their premises.

3.14 **Amusement Centres and Games Areas**

- a) Application

Any person who keeps four (4) or less Group "B" vending machines is, for the purposes of this section, the operator of a "Games Area" and the premises in which such machines are kept is, for the purpose of this section, a "Games Area".

- b) Licencing

No person shall operate a Games Area, nor shall any person be licenced to carry on the business of a Games Area or Amusement Centre unless they has provided confirmation in writing from the Building Inspector, the Fire Chief, the Public Health Inspector and the district Electrical Inspector that the premises meets the requirements of all applicable statutes, regulations and Bylaws.

- c) Hours of Operation

No Amusement Centre shall remain open between the hour of one o'clock in the morning and the hour of eight o'clock in the following morning.

- d) Maintenance

Every operator of an Amusement Centre or Games Area shall keep the premises well lit and in a clean and sanitary condition and shall not cover up any windows in a manner so as to prevent a clear view of the interior of the premises.

- f) Exemptions

The provisions of this section shall not apply to premises forming part of a circus or carnival while it is licenced to be in progress or to a Public House as defined in this Bylaw.

3.15 **Cannabis Retail Store**

- a) Applicants for a license to operate a Cannabis Retail Store must supply the Licence Inspector with the following:
 - i) a detailed security plan for the premises to be implemented at all times;
 - ii) written confirmation from the Fire Chief that the premises meet all applicable fire safety regulations; and,
 - iii) an application fee of \$5,000, \$4,500 of which is refundable should the applicant fail to receive a business licence or a provincial retail store licence.
- b) Approval of a license to operate a Cannabis Retail Store is contingent upon satisfying the above requirements and the successful receipt of a provincial licencing agency and in accordance with Policy 100-17-02 “Council Policy for Consideration of Cannabis Retail Applications”, as amended from time to time.
- c) All persons carrying on the business of or operating a Cannabis Retail Store must comply with the following regulations:
 - i) operation of the Cannabis Retail Store must be conducted in accordance with the security plan;
 - ii) changes to the security plan must receive written approval from the local RCMP detachment, and a copy of the altered plan and approval provided to the Licence Inspector;
 - iii) no person may be employed by a Cannabis Retail Store without first providing the Licence Inspector with a criminal record check confirming the employee is free of convictions under the Controlled Drugs and Substances Act, SC 1996, c. 19, for a period of at least ten years;
 - iv) the exterior of the premises must be well-lit at all times;
 - v) operators of a Cannabis Retail Store must ensure that no persons consume cannabis onsite and;
 - vi) operators of a Cannabis Retail Store are prohibited from cultivating cannabis on the premises, or providing drive-through or delivery sales of cannabis products.

3.16 **Not for Profit Organization**

Any person carrying on the business of “Not-for-Profit” shall, prior to issuing a Trade License for any licensing period, demonstrate proof of provincial or extra- provincial registration as a Society, Charity, or other recognized non-profit entity.

3.17 **Liquor Licences**

Applicants for a license to operate a Liquor Outlet, Licenced Restaurant, or manufacturer of liquor products must supply the Licence Inspector with proof of the appropriate liquor licence or permit from the Provincial Liquor and Cannabis Regulation Branch or proof of application to the Branch.

DIVISION IV - DUTIES AND ADMINISTRATION:

- 4.01 The Council herein delegates the following to the Licence Inspector(s), whose duty it shall be to carry out and administer the provisions of this Bylaw.
- a) The Licence Inspector(s) is hereby authorized and empowered to inspect, compel and require that all regulations and provisions prescribed in this Bylaw and any such regulations and provisions which may from time to time be appended to this Bylaw, are carried out.
 - b) The Licence Inspector (s) shall maintain and keep records of all Licences issued.
 - c) The Licence Inspector(s) is hereby authorized and empowered to enter upon, at all reasonable times, any property in order to ascertain whether the provisions of this Bylaw are being obeyed.

DIVISION V - OFFENCES - PENALTY

5.01 **Offence**

Any person who:

- a) carries on a business for which a Licence is required pursuant to the provisions of this bylaw, without holding a valid and subsisting Licence for the business, or
- b) tenders a cheque or other negotiable instrument in full or partial payment of any Licence Fee payable hereunder, if such cheque or negotiable instrument are fraud, or
- c) fails to display a valid and subsisting Licence as required by the provisions of this Bylaw, or
- d) fails to furnish any information or documentation as required by the provisions of this Bylaw, or
- e) carries on or remains open for business after receiving notice that their Licence has been suspended or revoked, or
- f) fails to comply with the regulations of this Bylaw, or
- g) violates, or performs any act or thing which violates, any provision of this Bylaw, or
- h) suffers or permits any act or thing to be performed in violation of this Bylaw, or

- i) neglects or refrains from doing anything required to be done by any of the provisions of this Bylaw,

is guilty of an offence.

5.02 **Penalty**

- a) A person who commits an offence against this bylaw is liable on conviction to a fine of not less than \$25.00 and not more than \$2,000.00.
- b) Where conviction is for failure to obtain and pay the Licence Fee required, then the amount which should have been paid for such a Licence shall be added to the said penalty and shall form part of this penalty.
- c) Notwithstanding anything herein contained, the amount of any and every Licence payable by any person pursuant to the provisions of this Bylaw shall be debt due by that person to the City of Prince Rupert which shall be recoverable, together with costs, in any court of competent jurisdiction.

SCHEDULE B - FEE SCHEDULE

The following are fees payable for the Classifications and Definitions in Division I:

<u>Code</u>	<u>Classification</u>	<u>Fee Payable</u>
50	ADULT ENTERTAINMENT SERVICE	\$2,200.00
100	AGENT per agent	\$115.00
200	AIRLINES	\$310.00
	AMUSEMENT CENTRES	
300	0 - 232 sq. metres floor space	\$230.00
301	233 - 465 sq. metres floor space	\$385.00
302	over- 465 sq. metres floor space	\$695.00
	AUTOBODY SHOP	
400	0 - 139 sq. metres floor space	\$85.00
401	140 - 278 sq. metres floor space	\$155.00
402	279 - 464 sq. metres floor space	\$310.00
403	over 464 sq. metres floor space	\$615.00
	AUTOMOBILE SALES AND SERVICE	
500	0 - 139 sq. metres floor space	\$85.00
501	140 - 278 sq. metres floor space	\$155.00
502	279 - 464 sq. metres floor space	\$310.00
503	over 464 sq. metres floor space	\$615.00
600	AUTOMOBILE TOW TRUCK per truck	\$115.00
	AUTOMOBILE TOW TRUCK COMPOUND	
700	0- 1 hectares ground area	\$115.00
701	2 - 3 hectares ground area	\$155.00
702	over 3 hectares ground area	\$310.00
800	BANKS	\$615.00
900	BANQUET HALL	\$155.00
	BARBER SHOP OR BEAUTY PARLOUR	
1000	1 chair	\$85.00
1001	2 to 5 chairs	\$115.00
1002	6 or more chairs	\$155.00
1024	BED & BREAKFAST ACCOMMODATION	\$105.00
1025	BED AND BREAKFAST	\$85.00
1050	BINGO HALL	\$155.00

<i>Code</i>	<u>Classification</u>	<u>Fee Payable</u>
BOAT RENTALS AND CHARTERS		
1100	1 boat	\$85.00
1101	2 boats	\$115.00
1102	3 boats	\$155.00
1103	4 or more boats	\$310.00
BOAT WORKS AND REPAIRS		
1200	0 - 1 hectares ground area	\$155.00
1201	1 - 3 hectares ground area	\$310.00
1202	over 3 hectares ground area	\$615.00
BOAT SALES		
1300	0 - 139 sq. metres floor space	\$85.00
1301	140 - 278 sq. metres floor space	\$155.00
1302	279 - 464 sq. metres floor space	\$310.00
1303	over 464 sq. metres floor space	\$615.00
1400	BOWLING ALLEY per lane	\$15.00
BUILDING RENTALS		
1501	Apartments per unit	\$17.00
1502	Hotels/Motels per unit	\$6.00
1503	Lodging Houses per unit	\$6.00
1504	Office, Warehouse, Commercial per 93 sq. metres	\$17.00
1505	Short Term Rental	
BUILDING SUPPLY		
1600	0 - 139 sq. metres floor space	\$85.00
1601	140 - 278 sq. metres floor space	\$155.00
1602	279 - 464 sq. metres floor space	\$310.00
1603	over 464 sq. metres floor space	\$615.00
1650	BUS TERMINAL	\$310.00
CANNABIS RETAIL STORE		
1660	Application Fee	\$5,000.00
1661	Annual Renewal Fee	\$2,500.00
1700	CATERING SERVICE	\$85.00
CIRCUS AND CARNIVAL		
1800	Sponsored per day	\$155.00
1801	Unsponsored per day	\$615.00
1900	CLUBS	\$310.00
COMMERCIAL OFFICE		
1920	0 - 93 sq. metres floor space	\$85.00
1921	94 - 186 sq. metres floor space	\$115.00

<u>Code</u>	<u>Classification</u>	<u>Fee Payable</u>
1922	187 - 279 sq. metres floor space	\$155.00
1923	280 - 464 sq. metres floor space	\$310.00
1924	465 - 929 sq. metres floor space	\$475.00
1925	over 929 sq. metres floor space	\$615.00
1945	DANCE STUDIO	\$85.00
1950	DAY CARE SERVICE	\$85.00
2000	DELIVERY SERVICE per vehicle	\$85.00
2001	DELIVERY SERVICE max 6 vehicles or over	\$475.00
2050	ELECTROLYSIS	\$85.00
	EXPRESS AND FREIGHTWAY COMPANY	
2100	1 - 139 sq. metres floor space	\$85.00
2101	140 - 186 sq. metres floor space	\$115.00
2102	187 - 279 sq. metres floor space	\$155.00
2103	280 - 557 sq. metres floor space	\$310.00
2104	over 557 sq. metres floor space	\$615.00
2200	FINANCIAL INSTITUTION	\$615.00
	FISHING COMPANY	
2300	0 - 464 sq. metres floor space	\$155.00
2301	465 - 930 sq. metres floor space	\$310.00
2302	931 - 1858 sq. metres floor space	\$615.00
2303	over 1858 sq. metres floor space	\$1,210.00
	FITNESS CENTRE	
2320	0 - 93 sq. metres floor space	\$85.00
2321	94 - 186 sq. metres floor space	\$115.00
2322	187 - 279 sq. metres floor space	\$155.00
2323	280 - 464 sq. metres floor space	\$310.00
2324	465 - 929 sq. metres floor space	\$475.00
2325	over 929 sq. metres floor space	\$615.00
	FUEL SERVICE	
2400	1 - 4 hectares	\$310.00
2401	over 4 hectares	\$615.00
2500	FUNERAL HOME	\$230.00
2600	GAMES AREA	\$127.00
2650	GAMING OR GAMBLING ESTABLISHMENT	\$615.00
2700	GARDEN SUPPLIES	\$115.00
	GAS BAR/CONVENIENCE STORE	

<u>Code</u>	<u>Classification</u>	<u>Fee Payable</u>
2750	0 - 139 sq. metres floor space	\$155.00
2751	140 - 278 sq. metres floor space	\$230.00
2752	279 - 464 sq. metres floor space	\$385.00
2753	over 464 sq. metres floor space	\$693.00

2800 **GENERAL CONTRACTOR** \$515.00

<u>Code</u>	<u>Classification</u>	<u>Fee</u>	<u>Code</u>	<u>Classification</u>	
<u>SUB CONTRACTORS</u>					
2901	Acoustics	\$155.00	2924	Land Clearing	\$155.00
2902	Alteration	\$155.00	2925	Landscaper	\$155.00
2903	Blasting	\$155.00	2926	Lather	\$155.00
2904	Brick	\$155.00	2927	Mechanical Equipment Installation	\$155.00
2905	Building	\$155.00	2930	Metal Worker	\$155.00
2906	Building Movers	\$155.00	2929	Oil Worker	\$155.00
2907	Bulldozing	\$155.00	2930	Painter	\$155.00
2908	Cabinet-maker	\$155.00	2931	Paver	\$155.00
2909	Carpenter	\$155.00	2932	Pipeline	\$155.00
2910	Concrete	\$155.00	2933	Plumber	\$155.00
2911	Demolition	\$155.00	2934	Roofing	\$155.00
2912	Diving Contractor	\$155.00	2935	Sand Blaster	\$155.00
2913	Drilling	\$155.00	2936	Sanitary Engineer	\$155.00
2914	Drywall/Plasterers	\$155.00	2937	Sewer and Drains	\$155.00
2915	Electrical	\$155.00	2938	Shingler	\$155.00
2916	Excavating	\$155.00	2939	Tile Setter	\$155.00
2917	Floorlayer	\$155.00	2940	Tree Surgeon	\$155.00
2918	Gas Fitter	\$155.00	2941	Truck Driver	\$155.00
2919	Glazing	\$155.00	2942	Welder	\$155.00
2920	Heating	\$155.00	2943	Other	\$155.00
2921	Insulation	\$155.00	2944	Heavy Duty Mechanic	\$155.00
2922	Interior Decorator	\$155.00	2945	Boat/Marine Mechanic	\$155.00
2923	Iron Worker	\$155.00			
3000	CONTRACTOR				\$255.00
3025	GROUP CARE HOME				\$85.00
3100	INVESTMENT OR HOLDING COMPANY				\$155.00
3150	JANITORIAL SERVICE				\$85.00
<u>LAUNDRY AND DRY CLEANING ESTABLISHMENT</u>					
3200	0 – 93 sq. metres floor space				\$85.00
3201	94 – 186 sq. metres floor space				\$115.00
3202	187 – 279 sq. metres floor space				\$155.00
3203	280 – 464 sq. metres floor space				\$230.00
3204	465 – 929 sq. metres floor space				\$310.00

3205	over 929 sq. metres floor space	\$615.00
	LIQUOR OUTLET	
3301	Commercial Outlet per outlet	\$1,210.00
3302	Societal Liquor Outlet per outlet	\$245.00
3400	LOG SCALING AND BOOMING	\$115.00
3500	MACHINERY AND EQUIPMENT RENTALS	\$115.00
	MANUFACTURING	
3600	0 – 232 sq. metres floor space	\$155.00
3601	233 – 464sq. metres floor space	\$310.00
3602	465 – 929 sq. metres floor space	\$615.00
3603	930 – 1858 sq. metres floor space	\$1,210.00
3604	over 1858 sq. metres floor space	\$2,200.00
3630	MARINE FUEL SALES	\$155.00
3700	MOBILE SALES SERVICE per vehicle	\$85.00
3800	NEWSPAPER PUBLISHER	\$310.00
	PAWN BROKER AND SECOND HAND DEALER	
3900	0 – 93 sq. metres floor space	\$85.00
3901	94 – 186 sq. metres floor space	\$115.00
3902	187 – 279 sq. metres floor space	\$155.00
3903	280 – 464sq. metres floor space	\$230.00
3904	465 – 929 sq. metres floor space	\$310.00
3905	over 929 sq. metres floor space	\$615.00
4000	PEDDLER – DOOR TO DOOR SALES	\$85.00
4001	PEDDLER – STATIONARY LOCATION	\$155.00
	PERSONAL GROOMING ESTABLISHMENT	
4020	0 – 93 sq. metres floor space	\$85.00
4021	94 – 186 sq. metres floor space	\$115.00
4022	187 – 279 sq. metres floor space	\$155.00
4023	over 279 sq. metres floor space	\$310.00
	PET SHOP	
4040	0 – 93 sq. metres floor space	\$85.00
4041	94 – 186 sq. metres floor space	\$115.00
4042	187 – 279 sq. metres floor space	\$155.00
4043	280 – 464 sq. metres floor space	\$310.00
4044	465 – 929 sq. metres floor space	\$475.00
4045	over 929 sq. metres floor space	\$615.00
	PHOTO STUDIO	
4100	0 – 93 sq. metres floor space	\$85.00
4101	94 – 186 sq. metres floor space	\$115.00

4102	187 – 279 sq. metres floor space	\$155.00
4103	280 – 464 sq. metres floor space	\$230.00
4104	465 – 929 sq. metres floor space	\$310.00
4105	over 929 sq. metres floor space	\$615.00

4200 **PRIVATE GARBAGE COLLECTION AND SERVICES** per truck \$85.00

PROFESSIONAL

4301	Accountant	\$155.00	4315	Forester	\$155.00
4302	Architect	\$155.00	4316	Insurance Agent	\$155.00
4303	Agrologist	\$155.00	4317	Insurance Salesperson	\$155.00
4304	Appraiser	\$155.00	4318	Librarian	\$155.00
4305	Auctioneer	\$155.00	4319	Medical Specialist	\$155.00
4306	Broker	\$155.00	4320	Optician	\$155.00
4307	Business Consultant	\$155.00	4321	Optometrist	\$155.00
4310	Chiropractor	\$155.00	4322	Physician	\$155.00
4309	Chemical	\$155.00	4323	Physiotherapist	\$155.00
4310	Dental laboratories	\$155.00	4324	Psychiatrist	\$155.00
4311	Dental Mechanic	\$155.00	4325	Psychologist	\$155.00
4312	Dental Surgeon	\$155.00	4326	Public Relations Agent	\$155.00
4313	Design and Drafting	\$155.00	4327	Real Estate Agent	\$155.00
4314	Engineer (including)	\$155.00	4330	Real Estate Salesperson	\$155.00
	- civil		4329	Refractionist	\$155.00
	- forest		4330	Solicitor/Barrister	\$155.00
	- marine		4331	Surveyor	\$155.00
	- mining		4332	Ships Chandler	\$155.00
	- electrical		4333	Other	\$155.00

4350 **PROFESSIONAL OFFICE** \$155.00

PRINT SHOP

4370	0 – 93 sq. metres floor space	\$85.00
4371	94 – 186 sq. metres floor space	\$115.00
4372	187 – 279 sq. metres floor space	\$155.00
4373	280 – 464 sq. metres floor space	\$310.00
4374	465 – 929 sq. metres floor space	\$475.00
4375	over 929 sq. metres floor space	\$615.00

4400 **PUBLIC UTILITY COMPANY** \$615.00

RADIO AND T.V. BROADCASTING

4500	Radio Station	\$310.00
4501	T.V. Station	\$310.00

<u>Code</u>	RESTAURANT, CAFE	Non Licenced	Licenced
4601/4602	1 - 30 seats	\$85.00	\$210.00
4603/4604	31 - 50 seats	\$115.00	\$245.00
4605/4606	51 - 70 seats	\$155.00	\$280.00
4607/4608	71 - 100 seats	\$230.00	\$360.00
4609/4610	over 100 seats	\$310.00	\$440.00

RETAIL SALES		
4700	0 - 93 sq. metres floor space	\$85.00
4701	94 - 186 sq. metres floor space	\$115.00
4702	187 - 279 sq. metres floor space	\$155.00
4703	280 - 464 sq. metres floor space	\$310.00
4704	465 - 929 sq. metres floor space	\$475.00
4705	over 929 sq. metres floor space	\$615.00
SERVICE FROM A BUSINESS AREA		
4800	0 - 93 sq. metres floor space	\$85.00
4801	94 - 186 sq. metres floor space	\$115.00
4802	187 - 279 sq. metres floor space	\$155.00
4803	280 - 464 sq. metres floor space	\$310.00
4804	465 - 929 sq. metres floor space	\$475.00
4805	over 929 sq. metres floor space	\$615.00
4850	SERVICE FROM NONRESIDENT BUSINESS	\$155.00
4900	HOME OCCUPATION	\$85.00
SERVICE OR REPAIR SHOP		
4950	0 - 93 sq. metres floor space	\$85.00
4951	94 - 186 sq. metres floor space	\$115.00
4952	187 - 279 sq. metres floor space	\$155.00
4953	280 - 464 sq. metres floor space	\$310.00
4954	465 - 929 sq. metres floor space	\$475.00
4955	over 929 sq. metres floor space	\$615.00
SERVICE SHOP, HEAVY		
4960	0 - 93 sq. metres floor space	\$85.00
4961	94 - 186 sq. metres floor space	\$115.00
4962	187 - 279 sq. metres floor space	\$155.00
4963	280 - 464 sq. metres floor space	\$310.00
4964	465 - 929 sq. metres floor space	\$475.00
4965	over 929 sq. metres floor space	\$615.00
4970	EXPORT/IMPORT COMPANY	\$155.00
STORAGE AREA		
5000	0 - 232 sq. metres floor space	\$85.00
5001	233 - 464 sq. metres floor space	\$155.00
5002	465 - 929 sq. metres floor space	\$615.00
5003	930 - 1858 sq. metres floor space	\$1,210.00
5004	over 1858 sq. metres floor space	\$2,200.00
TAXIS & VEHICLES FOR HIRE		
5100	Taxi per unit	\$85.00
5101	Charter Bus per unit	\$85.00
5102	Charter Limousine per unit	\$85.00
5103	Tour Bus per unit	\$85.00
5200	TAXI STAND	\$44.00

5250	TELEMARKETING SERVICE per person		\$85.00
5300	THEATRES		\$515.00
5315	TIRE MARSHALLING YARD		\$75.00
5400	TRAILER COURT per trailer space		\$5.00
5500	TRANSPORTATION COMPANY - MARINE per unit		\$85.00
		maximum	\$635.00
	UNCLASSIFIED		
5600	1 - 3 employees		\$85.00
5601	4 - 7 employees		\$115.00
5602	8 or more employees		\$155.00
	U-DRIVES		
5700	1 - 3 vehicles		\$115.00
5701	4 - 7 vehicles		\$155.00
5702	8 - 20 vehicles		\$310.00
5703	over 20 vehicles		\$615.00
	VENDING MACHINE AGENCY		
5800	Group "A" Vending Machines	per machine	\$30.00
		maximum	\$345.00
5801	Group "B" Vending Machines	per machine	\$65.00
		maximum	\$725.00
	WHOLESALE		
5900	0 - 232 sq. metres floor space		\$85.00
5901	233 - 464 sq. metres floor space		\$115.00
5902	465 - 929 sq. metres floor space		\$155.00
5903	930 - 1858 sq. metres floor space		\$310.00
5904	over 1858 sq. metres floor space		\$615.00
6000	YACHT CLUB		\$155.00
6100	NOT FOR PROFIT		\$2.00



CITY OF PRINCE RUPERT

CIVIC ADDRESS BYLAW NO. 3537, 2024

A bylaw regulating the orderly civic addressing of properties and appropriate naming of streets
within the City of Prince Rupert

WHEREAS section 39 of the Community Charter provides that a Council may assign names and numbers to a highway, assign numbers to buildings or structures and require owners or occupiers of real property to place assigned numbers in a conspicuous place on or near the property;

AND WHEREAS the Council of the City of Prince Rupert considers it desirable that a universal and unique civic addressing system be implemented within the City of Prince Rupert;

NOW THEREFORE the Council of the City of Prince Rupert, in open meeting assembled, enacts as follows:

1. That the Schedule "A" – Civic Addressing Bylaw, attached to and forming part of this bylaw comes into force upon final consideration and adoption.
2. That this Bylaw may be cited a "CIVIC ADDRESS BYLAW NO. 3537, 2024"

READ FOR A FIRST TIME THIS ____ DAY OF _____, _____

READ FOR A SECOND TIME THIS ____ DAY OF _____, _____

READ FOR A THIRD TIME THIS ____ DAY OF _____, _____

READ A FOURTH & FINAL TIME THIS ____ DAY OF _____, _____

MAYOR

CORPORATE OFFICER

CIVIC ADDRESSING BYLAW

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1. TITLE

This Bylaw may be cited as “**CIVIC ADDRESS BYLAW NO. 3537, 2024**”

2. INTERPRETATION

In this bylaw:

“**CIVIC ADDRESS**” means the address number, street name, and street type designated for a specific building, structure, or location by the City of Prince Rupert.

“**DWELLING UNIT**” means one or more rooms constituting a unit of living accommodation used or intended to be used for living and sleeping purposes and containing one kitchen

“**NAMED STREET**” means a street that is named and developed to MMCD Standards as outlined in the City of Prince Rupert’s Bylaws.

“**ACCESSORY DWELLING UNIT**” means attached or detached dwelling units that are additional and secondary to a principal residence on a residential property and are not able to be sold as a separate unit or constitute the primary land-use. For example, secondary suites or garden suites.

3. SCOPE

This Bylaw applies within the City of Prince Rupert.

4. DELEGATION

Council herein delegates the following to the City Manager, City Planner, Director of Operations, and the Building Inspector:

- a) The power to assign a civic address under this Bylaw.
- b) The power to amend a civic address under this Bylaw.

5. CIVIC ADDRESSING ASSIGNMENT

- a) Civic Addresses are assigned at the filing of an application for a building permit under the following:
 - i. Development of one or more principle or accessory dwelling units (ADU);
 - ii. Addition of dwelling unit;
 - iii. Development of a building requiring separate municipal servicing, in accordance with the City of Prince Rupert Utility Management Bylaws No. 3463 and No. 3464 as amended from time to time; and
 - iv. As required by current or emerging NG9-1-1 standards.
- b) No civic address shall be changed during the period between the filing of an application for a building permit and the issuance of an occupancy permit for that building, unless approved by a delegated authority, following guidelines in Section 6 of this bylaw.
- c) No civic address shall be changed for a lot between the time an application for a Plumbing, Sign, Driveway Access or Blasting Permit has been submitted and the time the permit is issued or denied.
- d) Civic addresses are assigned for locations without a building under the following circumstances and are exempt from Section 7: Address Display and Visibility requirement in this Bylaw:
 - i. Municipal park or greenspace that contains built structures such as swing sets or skateboard parks;
 - ii. Primary access points of Municipally owned or maintained trails; and
 - iii. As required by current or emerging NG9-1-1 standards.
- e) Civic addresses shall follow a logical, consistent pattern to enable ready access by emergency vehicles and provide for numbering of civic addresses in future subdivisions.
- f) The following guidelines shall be considered when assigning civic addressing:
 - i. Even civic address numbers are located on the east and south side of a named street, including cul-de-sacs and dead-end roads;
 - ii. Odd civic address numbers are located on the west and north side of a named street, including cul-de-sacs and dead-end roads;
 - iii. Civic address numbers increase from east to west on the West side of town (west of McBride Street), and increase from west to east on the East side of town (east of McBride Street);
 - iv. Civic address numbers will correlate to their relevant block;
 - v. In the case of diagonal or intersecting streets or irregular or diagonal blocks, address numbers shall be assigned to conform to the general numbering pattern in the Municipality, so that numbers shall conform to similar numbers on all parallel streets as far as possible; and

- vi. Civic Address numbers will be assigned in increments of four, as existing addressing allows, or in increments of eight for new development, to allow for increased building density in the future.
- g) The following guidelines shall be considered when assigning civic addressing to Small Scale Residential Dwellings:
- i. a single family dwelling is assigned a civic address based on the fronting street;
 - ii. a single family dwelling on a corner lot is addressed off the street to which the front door faces;
 - iii. for properties on which two (2) or more dwellings are permitted, each dwelling is assigned a separate civic address;
 - iv. for corner properties on which two (2) or more dwellings are permitted, each unit is addressed off the street to which the front door faces;
 - v. accessory dwelling units, including secondary suites and detached accessory dwellings are assigned an "A" or "B" suffix (i.e. 1651A, 1651B); and detached accessory units are assigned a "C" suffix (i.e. 1651C);
 - vi. an address change may be requested by the Owner or Developer for any property at the owners cost, as set out in this Bylaw.
 - vii. reuse of existing addresses is avoided where possible; and
 - viii. discretion may be used when addressing a dwelling without a clear street frontage or front door location.
- h) The following guidelines must be considered when assigning Multi-Family and Commercial/ Industrial/ Institutional Addressing:
- i. each building on a multi family residential property is addressed separately and unit numbers are assigned for individual suites or units in each building. For multi-level buildings the unit numbers will match the floor number (i.e. 101, 201, 301 for floor 1, 2, 3);
 - ii. row houses are given separate civic addresses for each unit;
 - iii. each building on commercial/industrial/institutional property is addressed separately and unit numbers are assigned for individual suites or units in each building. To leave available numbers for future consolidations or divisions of existing units on the single site, numbers assigned are 10 numbers apart (i.e. 110, 120, 130). Consolidations or divisions are assigned new numbers in existing sequence (i.e.: 110 plus 120 result in new unit number 115. Division of unit 110 will create additional unit number 105);
 - iv. civic addresses are assigned based on building location, as many multi-family, commercial, industrial and institutional developments have shared driveways and possibly alternate access;
 - v. civic addresses for each building are off the street to which the primary driveway serves the particular building;

- vi. where applicable, the Developer may provide unit numbers or work with the Development Services Department to determine most appropriate number assignments;
- vii. reuse of existing unit numbers and addresses are avoided where possible; and
- viii. discretion may be used when addressing a building where its frontage is in a different location from its main access.

6. CIVIC ADDRESSING CHANGES

- a. Civic address change requests must be submitted by the Owner or Developer through the Development Services Department for approval, as follows:
 - i. a written request is submitted to the Development Services Department, including:
 - a brief, but complete, explanation of the reasons for the proposed change; and
 - where the new address number and unit number(s) fit within the existing addressing framework of the street or building.
 - ii. the proposed address change is circulated to the appropriate City departments for information purposes; and
- b. Consideration will be given to changing civic addresses in the following instances:
 - i. where a residential dwelling or other building is on a corner lot and faces a different street than what it is currently addressed;
 - ii. where an owner objects to the existing civic address number for cultural reasons;
 - iii. in the case of a subdivision or redevelopment where there is a need to accommodate additional civic addresses.
- c. The applicant for a civic address change must pay the prescribed fee in this Bylaw.
- d. The City assumes no responsibility for:
 - i. the costs associated with any change to a civic address;
 - ii. the notification of any person or organization that a change of address has occurred; nor
 - iii. losses, damages or claims arising for any reason from a change of civic address.
- e. In the case where the subdivision or development of land triggers the change of a civic address for property(ies) not involved in the subdivision or development, all costs arising from the change of civic addresses shall be at the expense of the proponent.

- f. As errors in existing civic addressing are identified, they will be noted by the Development Services Department and re-aligned to follow this bylaw, as the opportunity arises, following the process set out above.
7. CIVIC ADDRESS NUMBER DISPLAY AND VISIBILITY
 - a) Every Owner or Developer of a building which is assigned a civic address, including accessory dwellings, must supply and affix, or cause to be affixed, the assigned civic address number in a conspicuous place on the building or display it elsewhere on the property where it can easily be seen from the property line on the fronting street;
 - b) Where an individual Building Unit entry having an exterior entry is not visible from the fronting street, the Owner or Developer must erect directional signage indicating the direction that unit is located on the building or property in a location clearly visible from the property line on the fronting street.
 - c) For buildings with internal units, the Owner or Developer must place unit numbers on each unit door way or in close proximity to the door.
 - d) Civic addresses must be displayed as Arabic numerals; not text or roman numerals;
 - e) Civic address numbers shall be displayed with a contrasting background and be clearly visible from the property line both day and night and in all weather conditions; and
 - f) Address numbers displayed shall be no less than 100 mm (4") in height.
8. NO ALTERATION WITHOUT PERMIT
 - a. No person shall alter, renumber or change any civic address without first receiving permission from a delegated authority pursuant to this bylaw.
9. PENALTIES
 - a. Every person who contravenes or violates any provision of this bylaw, or who suffers or permits any act or thing to be done in contravention or in violation of any provision of this bylaw, or who neglects to do or refrains from doing anything required to be done by any provision of this bylaw, commits an offence and, where the offence is a continuing one, each day the offence continues shall be a separate offence.
 - b. A person found guilty of committing an offence under this bylaw is liable a ticket is issued under the City of Prince Rupert Ticket Information Bylaw as amended from time to time to pay a maximum fine established under that Bylaw.



CITY OF PRINCE RUPERT

ZONING BYLAW AMENDMENT BYLAW NO. 3538, 2024

A BYLAW TO AMEND CITY OF PRINCE RUPERT ZONING BYLAW NO. 3462, 2021

WHEREAS the Council of the City of Prince Rupert has enacted Zoning Bylaw No. 3462, 2021 for the City of Prince Rupert; AND,

NOW THEREFORE the Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

1. Amend "Schedule B" Zoning Map by rezoning the lots legally described LOTS 21-23, PARCEL A (SEE TD10960) AND LOTS 26-28, BLOCK 10 SECTION 1 DISTRICT LOT 1992 RANGE 5 COAST DISTRICT PLAN 923, as indicated in "Attachment A" of this Bylaw from C1: Core Commercial Zone to C6: Downtown Highrise Zone;
2. Amend "Schedule A" Section 6.6 C6: Downtown Highrise Zone Maximum Building Height to 22 meters exclusively at the lots legal described as LOTS 21-23, PARCEL A (SEE TD10960) AND LOTS 26-28, BLOCK 10 SECTION 1 DISTRICT LOT 1992 RANGE 5 COAST DISTRICT PLAN 923; and,
3. This Bylaw may be cited as Prince Rupert Zoning Bylaw Amendment No. 3538, 2024.

READ A FIRST TIME this _____ day of _____, 2024.

READ A SECOND TIME this _____ day of _____, 2024.

READ A THIRD TIME this _____ day of _____, 2024.

READ A FOURTH & FINAL TIME this _____ day of _____, 2024.

MAYOR

CORPORATE OFFICER



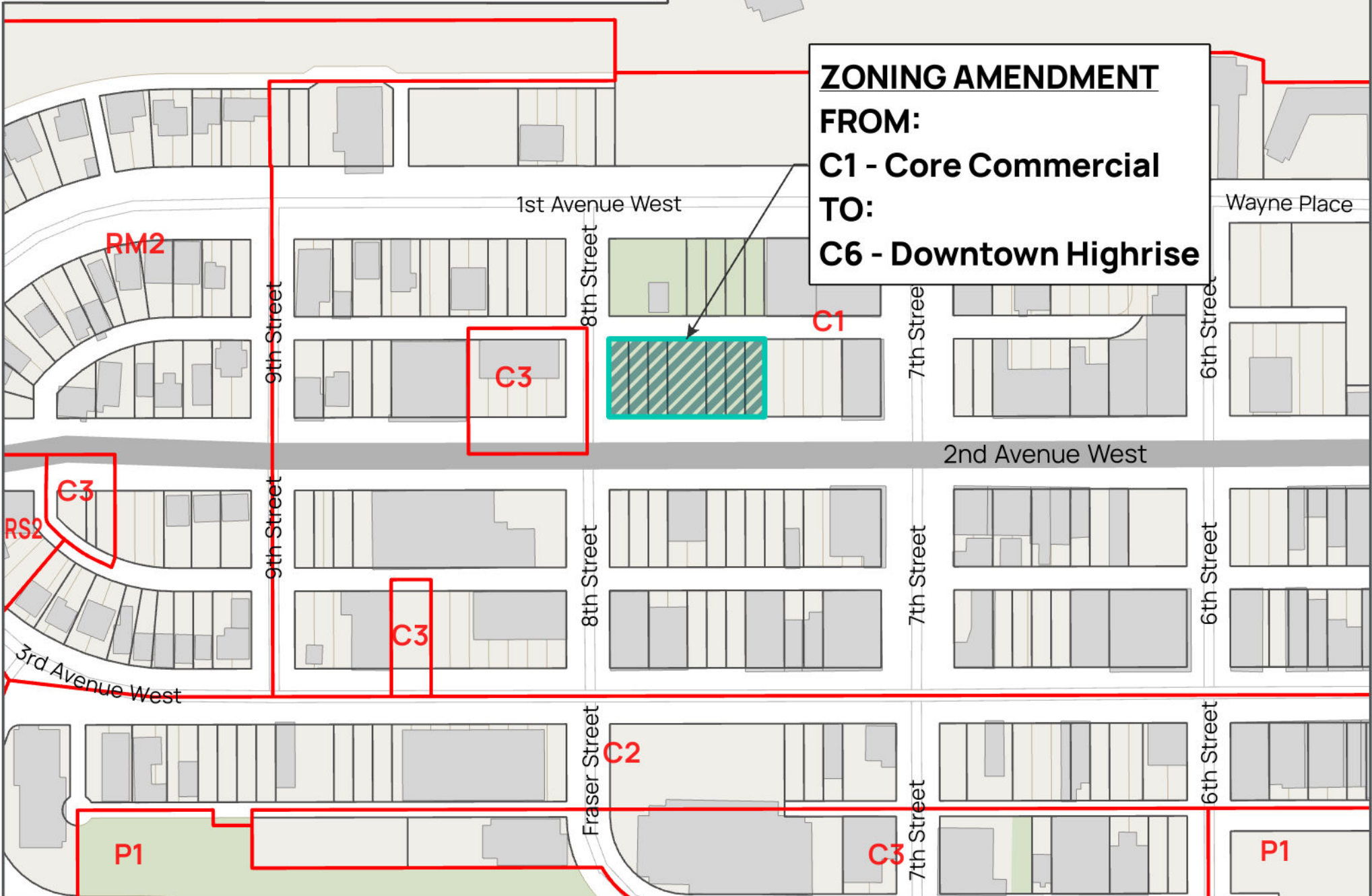
ATTACHMENT A - ZONING AMENDMENT
AMENDMENT BYLAW NO. 3538, 2024
LOTS 21-23, A, 26-28, BLK 10, SECTION 1

Project #: ZBLA-24-02 Date: 2024/5/23

M3



ZONING AMENDMENT
FROM:
C1 - Core Commercial
TO:
C6 - Downtown Highrise





CITY OF PRINCE RUPERT

ZONING AMENDMENT BYLAW NO. 3539, 2024

A BYLAW TO AMEND CITY OF PRINCE RUPERT ZONING BYLAW NO. 3462, 2021

WHEREAS the Council of the City of Prince Rupert has enacted Zoning Bylaw No. 3462, 2021 for the City of Prince Rupert;

WHEREAS the Province of British Columbia introduced amendments to the Local Government Act concerning density and obligating compliance by the City of Prince Rupert;
AND,

NOW THEREFORE the Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

1. Amend the City of Prince Rupert Zoning Bylaw No. 3462, 2021 "Schedule A" Sections 10: Parking in accordance with Attachment 1, attached hereto and forming a part of this Zoning Bylaw Amendment No. 3539, 2024.
2. This Bylaw may be cited as Prince Rupert Zoning Bylaw Amendment No. 3539, 2024

READ A FIRST TIME this _____ day of _____, 2024.

READ A SECOND TIME this _____ day of _____, 2024.

READ A THIRD TIME this _____ day of _____, 2024.

READ A FOURTH & FINAL TIME this _____ day of _____, 2024.

MAYOR

CORPORATE OFFICER

Amend Section 10.2.1 for uses related to residential parking as shown below:

10.2.1 City-Wide Requirements

Table 1 Amended Residential Parking Requirements

Use:	Parking Standard:
Residential	
Single Family	1.0 space per dwelling unit
Duplex	0.75 space per dwelling unit
Houseplex	0.5 space per dwelling unit
Multi-Family (over 5 units)	1.0 space per dwelling unit
Accessory Dwelling Unit	0.25 space per dwelling unit
Senior Citizens Housing	0.25 space per 1 living units
Student Housing	0.25 spaces per bedroom



CITY OF PRINCE RUPERT

ZONING BYLAW AMENDMENT BYLAW NO. 3540, 2024

A BYLAW TO AMEND CITY OF PRINCE RUPERT ZONING BYLAW NO. 3462, 2021

WHEREAS the Council of the City of Prince Rupert has enacted Zoning Bylaw No. 3462, 2021 for the City of Prince Rupert; AND,

NOW THEREFORE the Council of the City of Prince Rupert in an open meeting assembled, enacts as follows:

1. Amend "Schedule A" Section 9.2.1 the parking requirements for Single Family, Two Family & Multi-family in Section 9.11.2 Parking Requirements from 1 space per dwelling unit to 0.6 spaces per dwelling unit exclusively at the lots described as LOTS 21-23, PARCEL A (SEE TD10960) and LOTS 26-28 BLOCK 10 SECTION 1 DISTRICT LOT 1992 RANGE 5 COAST DISTRICT PLAN 923.
2. This Bylaw may be cited as Prince Rupert Zoning Bylaw Amendment No. 3540, 2024.

READ A FIRST TIME this _____ day of _____, 2024.

READ A SECOND TIME this _____ day of _____, 2024.

READ A THIRD TIME this _____ day of _____, 2024.

READ A FOURTH & FINAL TIME this _____ day of _____, 2024.

MAYOR

CORPORATE OFFICER