



## REGULAR MEETING

For the **REGULAR MEETING** of Council to be held on Monday, April 22, 2024, at 7:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

### 1. CALL TO ORDER

### 2. INTRODUCTION OF LATE ITEMS

### 3. APPROVAL OF AGENDA

#### Recommendation:

THAT the Agenda for the Regular Council Meeting of April 22, 2024 be adopted as presented.

### 4. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

### 5. CONSENT AGENDA

#### a) Council minutes

- i. Minutes of the Regular Meeting of April 8, 2024;

#### b) Reports

- ii. Development Activity Report for March 2024;
- iii. Monthly Fire / Rescue Report for March 2024;
- iv. Report from Director of Operations & Intergovernmental Relations Re: Prince Rupert Major Project Update;

#### c) Correspondence

- v. City of Port Alberni: Resolution for Consideration by Delegates at the AVICC 2024 AGM & Convention;
- vi. Provincial Snow Survey and Water Supply Bulletin – April 1<sup>st</sup>, 2024;
- vii. LCRB Liquor Policy Re: Bulletin 24 – 02, 03, 04: Improved Visitor Experience at Manufacturing Sites;
- viii. Call for Support Re: Reinstatement of SFU Football Program.

#### Recommendation:

THAT all items on the Consent Agenda be approved as requested.

## 6. REPORTS

- a) **Report from Director of Operations & Intergovernmental Relations Re: 6<sup>th</sup> Avenue Bridge Project – Project Award – RFT-23-0089.**

**Recommendation:**

THAT Council directs Staff to Award the 6<sup>th</sup> Avenue Bridge Project to Surespan Construction Ltd.

- b) **Report from City Manager Re: City Health Care Improvement Strategy.**

**Recommendation:**

THAT Council approve the proposed City Health Care Improvement Strategy.

- c) **Report from Director of Planning and Development Services & Manager of Communications, Engagement and Social Development Re: Proposed Expanded Scope for Japanese Canadian Legacies Project.**

**Recommendation:**

THAT Council direct staff to proceed with an application to the JCLS Fund for up to \$400,000 towards a memorial project in Mariners Park; and,

THAT Council approve moving forward in the application with both approved sites in Mariners Park, with the selection of the current memorial wall site pending secured funding for removal and replacement of the existing Mariners Memorial wall, AND;

THAT If no funding is available for the removal and replacement of the existing Mariners Memorial wall, that the project proceed on the secondary site in Mariners Park.

- d) **Report from Planner Re: Development Variance Permit #24-01 – PID 031-690-823, located on Seal Cove Circle.**

**Recommendation:**

THAT Council proceed with final approval for Development Variance Permit (DVP) #24-01 – PID 031-690-823, located on 2051 Seal Cove Circle.

- e) **Report from Chief Financial Officer Re: Hall Society, ILWU Local 505 Revitalization Tax Exemption Agreement.**

**Recommendation:**

THAT Council authorize a municipal property tax exemption for ten years for Hall Society, ILWU Local 505 and direct staff to enter into a Downtown Core Area Revitalization Tax Exemption Agreement.

**f) Report from Director of Corporate & Legislative Services Re: 333 – 3<sup>rd</sup> Avenue West: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 333 – 3<sup>rd</sup> Avenue West (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**g) Report from Director of Corporate & Legislative Services Re: 337 – 3<sup>rd</sup> Avenue West: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 337 – 3<sup>rd</sup> Avenue West (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the

notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**h) Report from Director of Corporate & Legislative Services Re: 240 – 6<sup>th</sup> Avenue West: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 240 – 6<sup>th</sup> Avenue West (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**i) Report from Director of Corporate & Legislative Services Re: 200 – 3<sup>rd</sup> Avenue West: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 200 – 3<sup>rd</sup> Avenue West (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**j) Report from Director of Corporate & Legislative Services Re: 711 – 5<sup>th</sup> Avenue East: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 711 – 5<sup>th</sup> Avenue East (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**k) Report from Director of Corporate & Legislative Services Re: 728 Lotbiniere Street: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 728 Lotbiniere Street (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**l) Report from Director of Corporate & Legislative Services Re: 1040 – 2<sup>nd</sup> Avenue West: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 1040 – 2<sup>nd</sup> Avenue West (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**m) Report from Director of Corporate & Legislative Services Re: 1614 Sloan Avenue: Remedial Action Order.**

**Recommendation:**

THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 1614 Sloan Avenue (the “Property”) with the costs of removal placed on the property taxes for the said Property;

AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;

AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;

AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.

**7. COUNCIL ROUND TABLE**

**8. ADJOURNMENT**



## MINUTES

For the **REGULAR MEETING** of Council to be held on April 8, 2024, at 7:00 pm in the Council Chambers of City Hall, 424 – 3<sup>rd</sup> Avenue West, Prince Rupert, B.C.

**PRESENT:** Mayor H. Pond  
Councillor W. Niesh  
Councillor G. Randhawa  
Councillor B. Cunningham  
Councillor N. Adey  
Councillor T. Forster (Remote)  
Councillor R. Skelton-Morven

**STAFF:** R. Buchan, City Manager  
R. Miller, Director of Corporate & Legislative Services / Corp. Officer  
R. Pucci, Director of Operations & Intergovernmental Relations  
C. Bomben, Chief Financial Officer  
M. Pope, Director of Development Services  
R. Paras, Planner  
V. Stewart, Manager of Communications, Engagement & Social Development

### 1. CALL TO ORDER

The Mayor called the Regular Meeting of Council to order at 7:00 pm.

The Mayor honoured Iona Campagnolo.

### 2. INTRODUCTION OF LATE ITEMS

### 3. APPROVAL OF AGENDA

MOVED by Councillor Randhawa and seconded by Councillor Adey THAT the Agenda for the Regular Council Meeting of April 8, 2024, be adopted as presented.

CARRIED

### 4. PUBLIC COMMENT(S) REGARDING AGENDA ITEMS

Sal Chirico – Re: Reconsideration of Remedial Action Order (201 – 2<sup>nd</sup> Ave West);  
Jorge Pizarro – Re: Remedial Action Order (1913 – 7<sup>th</sup> Ave East);  
Frank Chirico – Re: Reconsideration of Remedial Action Order (201 – 2<sup>nd</sup> Ave West).

### 5. CONSENT AGENDA

a) Council minutes

- i. Minutes of the Regular Meeting of March 25, 2024;
- ii. Minutes of the Committee of the Whole Meeting of March 25, 2024;

**b) Reports**

- iii. Request for Support for Curling Rink Grant Applications to Support Ramp Development;
- iv. Report from the Director of Corporate & Legislative Services Re: Noise Bylaw Complaints and legal review Re: City of Prince Rupert's Noise Control Bylaw No. 2430, 1982;

**c) Correspondence**

- v. BC Emergency Health Services Re: Updates on the Actions Being Taken by BCEHS to Support Patients in Prince Rupert and Other Northern Communities;
- vi. Prince Rupert Port Authority Re: PRPA Support for Improved Health Services in Prince Rupert;
- vii. Request for proclamation for April 16, 2024, for National Advanced Care Planning Day;
- viii. Request for proclamation for May 17, 2024, for International Day Against Homophobia and Transphobia.

MOVED by Councillor Adey and seconded by Councillor Forster THAT all items on the Consent Agenda be accepted as noted and filed.

CARRIED

**6. REPORTS**

**a) Report from Director of Corporate & Legislative Services/Corporate Officer Re: 201 – 2<sup>nd</sup> Avenue West: Remedial Action Order (Lots 9, 10, 11 and 12, Section 1, District Lot 251, Range 5, Coast District Plan 923 (PIDs: 007-578-067, 014-772-043, 014-772-051 and 014-772-060).**

MOVED by Councillor Niesh and seconded by Councillor Forster THAT Council amend the original Remedial Action Order of February 26, 2024, for clean-up under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the Property, as set-out in items 1-7 in the report, located at 201 – 2<sup>nd</sup> Avenue West, legally known as Lots 9, 10, 11 and 12, Section 1, District Lot 251, Range 5, Coast District Plan 923 (PIDs: 007-578-067, 014-772-043, 014-772-051 and 014-772-060), with the cost of the clean-up placed on the property taxes for the Property if the clean-up, as set-out in items 1-7 of the report, has not occurred as noted and accepted by Council by May 30, 2024.

CARRIED

**b) Report from Planner Re: Development Variance Permit #24-01 – PID 031-690-823, located on Seal Cove Circle.**

MOVED by Councillor Randhawa and seconded by Councillor Adey THAT Council proceeds with the statutory notification process for Development Variance Permit (DVP) #24-01 – PID 031-690-823, located on Seal Cove Circle.

CARRIED

**c) Report from Chief Financial Officer Re: Resolution to Amend 2024 Five Year Financial Plan Bylaw No. 3526, 2023**

MOVED by Councillor Niesh and seconded by Councillor Skelton-Morven THAT Council approve the addition to the financial plan outlined in this report;

AND THAT the 2024 Five Year Financial Plan be amended accordingly

CARRIED

**7. COUNCIL ROUND TABLE**

**8. ADJOURNMENT**

MOVED by Councillor Adey and seconded by Councillor Randhawa THAT the meeting be adjourned at 7:59 p.m.

CARRIED

Confirmed:

\_\_\_\_\_  
MAYOR

Certified Correct:

\_\_\_\_\_  
DIRECTOR OF CORPORATE  
& LEGISLATIVE SERVICES/ CORP. OFFICER



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** April 22<sup>th</sup>, 2023  
**TO:** Robert Buchan, City Manager  
**FROM:** Rodolfo Paras, Urban Planner I

**SUBJECT: DEVELOPMENT ACTIVITY REPORT FOR MARCH 2024**

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#### RECOMMENDATION

**THAT Council Receive and File the attached Development Activity Report in Attachment 1.**

#### REASON FOR REPORT:

This report summarizes development application activity active in the City of Prince Rupert for March 2024. This report is intended to inform the Council on applications that have been received and their status to date.

**Report Prepared By:**

**Report Reviewed By:**

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Rodolfo Paras,  
Urban Planner I

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Robert Buchan,  
City Manager

Originally signed available on request

Attachments:

1. Development Activity Report

### Development Activity Report – March 2024

Planning and Zoning					
File No.	Location	Proposal Description	Date Received	Status	Date of Decision
ZBLA-21-01	712-714 McKay Street	Application to rezone from R2 to RM2.	April 7, 2021	In Progress* Waiting on information from Ministry of Transport	
ZBLA-23 - 03	Various	OCP and Zoning amendments for the waterfront development	Nov 11, 2023	In Progress* Consultation	Council gave 1 <sup>st</sup> and 2 <sup>nd</sup> Readings Dec 11 <sup>th</sup>
DVP-23-12	432 8 <sup>th</sup> Avenue W / 721 Lotbiniere	Deck/entrance-way into an existing non-conforming house onto rear lot-lines.	May 31, 2023	On Hold*  *Waiting on more information from applicant.	N/A
DVP-23 - 20	200 Sherbrooke Avenue	Proposed smaller parking stall size and request for parking electrification exemption.	Sept 27, 2023	On Hold*  *waiting on applicant to comply and obtain other permits/agreements before proceeding.	N/A
DVP-23 - 21	1300 Hays Cove Avenue	Building height increase and parking requirement reduction.	Sept 29 <sup>th</sup> , 2023	On Hold	N/A
DVP-24-01	Seal Cove Circle	Setback Variance to accommodate chimney of new house.	March 13 <sup>th</sup> , 2024	In Progress* *Approved for public notification April 8 <sup>th</sup> .	
DP-23-13	800 2 <sup>nd</sup> Avenue W	Proposed redevelopment in Midtown District.	Aug 09, 2023	On Hold* * Awaiting information from applicant.	NA
DP-24-03	118 6 <sup>th</sup> St.	Exterior Renovations	March 6, 2024	Approved	March 19, 2024
DP-24-04	101 1 <sup>st</sup> Ave E	Exterior Renovations	March 11, 2024	Approved	March 26, 2024
Building Department Permits - Summary March of 2024					
File No.	Location	Proposal Description	Status	Date of Decision	
BP 42-24	228 5th Ave East	Alteration and improvements	Permit Granted	March 1,2024	
BP 43-24	243 8th Ave West	Alteration and improvements	Permit Granted	March 5,2024	
BP 44-24	92 Haysvale Drive	Alteration and improvements	Permit Granted	March 5,2024	
BP 45-24	1436 6th Ave East	Alteration and improvements	Permit Granted	March 5,2024	
BP 46-24	1444 2nd Ave West	Alteration and improvements	Permit Granted	March 6,2024	
BP 47-24	1444 2nd Ave West	Plumbing	Permit Granted	March 6,2024	
BP 48-24	516 8th Ave East	Alteration and improvements	Permit Granted	March 7,2024	

<b>BP 49-24</b>	1609 Prince Rupert BLVD	Addition to existing building for non-residential	Permit Granted	March 7, 2024
<b>BP 50-24</b>	128 5th Ave East	Alteration and improvements	Permit Granted	March 11,2024
<b>BP 51-24</b>	1939 Atlin Ave	Alteration and improvements	Permit Granted	March 11,2024
<b>BP 52-24</b>	1419 Sloan Ave	Alteration and improvements	Permit Granted	March 11,2024
<b>BP 53-24</b>	<b>830 11th Ave East</b>	<b>New Construction</b>	<b>Permit Granted</b>	<b>March 12,2024</b>
<b>BP 54-24</b>	1063 Ambrose Ave	Alteration and improvements	Permit Granted	March 12, 2024
<b>BP 55-24</b>	1063 Ambrose Ave	Plumbing	Permit Granted	March 12,2024
<b>BP 56-24</b>	<b>1436-1438 11th Ave East</b>	<b>New Construction</b>	<b>Permit Granted</b>	<b>March 12,2024</b>
<b>BP 57-24</b>	1436-1438 11th Ave East	Plumbing	Permit Granted	March 12,2024
<b>BP 58-24</b>	1163 Omenica Ave	Alteration and improvements	Permit Granted	March 13,2024
<b>BP 59-24</b>	343 7th Ave West	Alteration and improvements	Permit Granted	March 14,2024
<b>BP 60-24</b>	343 7th Ave West	Plumbing	Permit Granted	March 14,2024
<b>BP 61-24</b>	<b>807 Alfred Street</b>	<b>New Construction</b>	<b>Permit Granted</b>	<b>March 14,2024</b>
<b>BP 62-24</b>	1305- 1325 Summit Ave	Plumbing	Permit Granted	March 15,2024
<b>BP 63-24</b>	1305-1325 Summit Ave	Alteration and improvements	Permit Granted	March 18,2024
<b>BP 64-24</b>	1305-1325 Summit Ave	Plumbing	Permit Granted	March 18,2024
<b>BP 65-24</b>	1129 11th Ave East	Alteration and improvements	Permit Granted	March 19,2024
<b>BP 66-24</b>	245 7th Ave East	Alteration and improvements	Permit Granted	March 20,2024
<b>BP 67-24</b>	539 6th Ave West	Plumbing	Permit Granted	March 22,2024
<b>BP 68-24</b>	573 5th Ave East	Alteration and improvements	Permit Granted	March 25,2024
<b>BP 69-24</b>	885 Borden Street	Alteration and improvements	Permit Granted	March 27,2024

**Anticipated new housing units as of March 2024**

<b>Location</b>	<b>Development Status</b>	<b>Number of Units</b>
<b>1429 Overlook St</b>	Occupancy Granted	1
<b>239 Parker Drive</b>	Occupancy Granted	1
<b>1551 Kay Smith Blvd</b>	Occupancy Granted	2
<b>830 11th Ave E</b>	Building Permit open	70
<b>1644 2nd Ave W</b>	Building Permit open	2
<b>433 11th Ave E</b>	Building Permit open	3
<b>1414 Kootenay Ave</b>	Building Permit open	20
<b>1034 1st Ave W</b>	Building Permit open	3
<b>1002 Edward Ave</b>	Building Permit open	1
<b>Alfred Street</b>	Building Permit open	2
<b>877/ 879 Borden Street</b>	Building Permit open	2
<b>1436-1438 11th Ave East</b>	Building Permit open	2
<b>719 2<sup>nd</sup> Ave W</b>	Building Permit open	4
<b>9<sup>th</sup> Ave West</b>	Development Permit Granted	40

**Anticipated City Core Commercial Developments as of March 2024**

<b>125 3rd Ave East</b>	Building Permit open	0
<b>847 1st Ave West</b>	Building Permit open	0



# REPORT

April 1, 2024

**TO:** City Manager Rob Buchan  
**FROM:** Fire Chief Jeff Beckwith  
**SUBJECT:** Monthly Fire / Rescue Report – March 2024

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During the month of March 2024, the Prince Rupert Fire Rescue Department responded to 69 emergency incidents. Of these incidents, there were 5 motor vehicle incidents(MVI) and 7 fires, with 1 property sustaining significant damage due to fire.

Location	Property Value	Property Loss
760 Alfred Street	306 900	100 000
<b>Totals:</b>	<b>306 900</b>	<b>100 000</b>

## INCIDENT COMPARISON

March	2024	69 Incidents
March	2023	89 Incidents
March	2022	138 Incidents
March	2021	135 Incidents
March	2020	93 Incidents

## FIRE SERVICE ACT INSPECTIONS

During the month of March, the Fire Rescue Department personnel conducted 7 Fire Service Act inspections within Prince Rupert.

## INSPECTION COMPARISON

March	2024	7 Public Building Inspections
March	2023	0 Public Building Inspections
March	2022	0 Public Building Inspections
March	2021	1 Public Building Inspection
March	2020	4 Public Building Inspections

## DEPARTMENT ACTIVITIES AND PROGRAMS

### **Fire Prevention and Public Education:**

This March the Fire Department played the RCMP in the annual Guns & Hoses hockey game which was a great opportunity for participating members to visit schools, bring the community together by packing the arena and raising just over \$6000 for Prince Rupert Kids Sport.

### **Training & Upgrading:**

During the month of March, 56 in-house training sessions were conducted involving Indigenous Cultural Safety, EMR/CPR/Narcan refreshers, rope rescue practice, reviewing Critical Incident Stress Management, driver/street/apparatus familiarization with training the new recruits & reviewing road closures, prepared for hose ruptures, practiced elevator entrapment, ladder rescue drills along with preplan tactics. MSA representatives also visited Prince Rupert Fire to familiarize fire fighters with their new SCBA equipment.

### **Daily Apparatus & Equipment Maintenance:**

Daily inspections and maintenance was conducted on all equipment and apparatus and they remain in working condition.

## 911 DISPATCH SUMMARY

The following is a summary of emergency calls received and handled by the 911 Operators/Dispatchers.

PR ADMIN	292
PR FIRE	6
PR AMB	177
PR EHS	46
PR RCMP	178
PR ALARM	26

PED ADMIN	0
PED FIRE	1
PED AMB	1
PED EHS	0
PED RCMP	2
PED ALARM	0

OTH FIRE	1
OTH AMB	1
OTH EHS	0
OTH RCMP	1

CITY	135
H/U	116
WRONG #	28
R.C.C.	0
CITYWEST	6
311	0

**Total: 1017**

Respectfully Submitted



Fire Chief Jeff Beckwith



## REPORT TO COUNCIL

### Regular Meeting of Council

**DATE:** April 22, 2024  
**TO:** Robert Buchan, City Manager  
**FROM:** Richard Pucci, Director of Operations & Intergovernmental Relations  
**SUBJECT:** **PRINCE RUPERT MAJOR PROJECT UPDATE**

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#### **RECOMMENDATION:**

**THAT Council receives this Report for information purposes.**

#### **REASON FOR REPORT:**

The City of Prince Rupert's Capital Budget has been passed, and the Operations Department Staff have committed to give the Council regular updates on progress.

#### **ANALYSIS:**

Please see below on our procurement status:

- **Water Project Overland** – Awarded;
- **6<sup>th</sup> Bridge Rehabilitation** – Awarded;
- **Seal Cove Outfall Replacement** – Awarded;
- **New Public Works Building Design/Build** – Awarded;
- **McBride Sport Court** – Awarded;
- **SCADA Communication Tower** – Awarded;
- **Outfall J to I Design** – Awarded;
- **Downtown Revitalization Plan** – Awarded;
- **Landfill West Closure** – to be posted on BCBid;
- **New Wetland Treatment Facility** – to be posted on BCBid;
- **The submarine line is still in design** – posted on BCBid by the end of summer;
- **Woodworth Log Removal Works** – posted on BCBid within a week;
- **Infrastructure Replacement Program** – Program initiated.

#### **COST:**

There is no impact on the Annual Budget or Strategic Priorities. This Capital Program represents between 20 and 30 million dollars' worth of construction.

**CONCLUSION:**

**THAT Council receives this Report for information purposes.**

**Report Prepared By:**

**Report Reviewed By:**

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Richard Pucci,  
Director of Operations &  
Intergovernmental Relations

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Robert Buchan,  
City Manager

Originally signed available on request

Date: March 27, 2024  
File No: 0390-20-AVICC

**RESOLUTION for Consideration by Delegates at the AVICC 2024 AGM & Convention**

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***Addressing the Needs of Rural Seniors in British Columbia***

*City of Port Alberni*

***WHEREAS*** rural B.C. has a proportionately larger and faster growing seniors' population than urban B.C., yet has less infrastructure and resources to support its aging population;

***AND WHEREAS*** a greater and more focused provincial response to ongoing concerns about inequities in services and supports for seniors in rural B.C. is required to address the inadequacies of current approaches to such issues;

***THEREFORE, BE IT RESOLVED*** that AVICC & UBCM endorse the recommendations of the Office of the Seniors Advocate's report titled "Challenges Facing B.C.'s Rural Seniors" and dated February 2024, and calls on the Provincial Government to implement said recommendations beginning with establishing a ministry or minister of state for rural B.C. in recognition of the geographic imbalance of regional representation in the Legislative Assembly;

***AND FURTHER*** that the AVICC request the creation of a rural seniors caucus within the UBCM membership.

Date: March 27, 2024  
File No: 0390-20-AVICC

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**RESOLUTION for Consideration by Delegates at the AVICC 2024 AGM & Convention  
Addressing the Needs of Rural Seniors in British Columbia**

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In alignment with Council's *2023-2027 Corporate Strategic Plan* and the goals of "fostering a complete community that is safe, healthy and inclusive" and ensuring the "provision and maintenance of quality services" Council for the City of Port Alberni is submitting the attached resolution for consideration.

The aging population in rural British Columbia (B.C.) is growing at a faster rate than in urban areas, leading to challenges in providing adequate infrastructure and resources to support seniors in these regions. The disparities in services and support for rural seniors have raised concerns about the effectiveness of current approaches. To address these issues, a more targeted and comprehensive provincial response is essential to ensure the well-being of rural seniors in B.C.

**Growing Senior Population:** Rural B.C. is experiencing a significant increase in the proportion of seniors compared to urban areas. This demographic shift emphasizes the need for tailored services and support to meet the unique needs of rural seniors.

**Infrastructure and Resource Challenges:** Despite the growing senior population, rural B.C. faces limitations in infrastructure and resources to provide adequate care and services for aging residents. This disparity highlights the urgent need for intervention and support.

**Challenges and Inequities:**

**Inequities in Services:** Rural seniors in B.C. often face challenges accessing healthcare, social services, and other essential resources due to geographic isolation and limited infrastructure.

**Inadequate Support:** The current approaches to addressing the needs of rural seniors are deemed insufficient to address the complexities and nuances of the issues they face. There is a pressing need for a more focused and responsive strategy to ensure equitable access to services and support.

The Association of Vancouver Island and Coastal Communities (AVICC) and the Union of British Columbia Municipalities (UBCM) are called upon to endorse the recommendations outlined in the Office of the Seniors Advocate's report titled "Challenges Facing B.C.'s Rural Seniors" dated February 2024.

The resolution urges the Provincial Government to implement the report's recommendations, starting with the establishment of a ministry or minister of state for rural B.C. This initiative aims to address the geographic imbalance of regional representation in the Legislative Assembly and prioritize the needs of rural seniors.

AVICC is further requested to advocate for the creation of a rural seniors caucus within the UBCM membership. This caucus will serve as a platform for collaboration, advocacy, and policy development to address the specific challenges faced by rural seniors at the local government level.

The resolution acknowledges the growing concerns and challenges faced by rural seniors in British Columbia and proposes concrete steps to address these issues. By endorsing the recommendations of the Seniors Advocate's report and advocating for targeted provincial and local initiatives, AVICC and UBCM are demonstrating their commitment to improving the quality of life and support systems for rural seniors. This collaborative effort aims to create a more equitable and sustainable framework for addressing the needs of aging populations in rural communities across B.C.

Yours truly,  
CITY OF PORT ALBERNI



**Sharie Minions**  
**Mayor**

c: City Council  
M. Fox, CAO  
D. Monteith, Director of Corporate Services  
UBCM Member Municipalities

# Snow Survey and Water Supply Bulletin – April 1<sup>st</sup>, 2024

The April 1<sup>st</sup> snow survey is now complete. Data from 106 manual snow courses and 105 automated snow weather stations around the province (collected by the Ministry of Environment and Climate Change Strategy's Snow Survey Program, BC Hydro and partners), and climate data from Environment and Climate Change Canada (ECCC) and the provincial Climate Related Monitoring Program have been used to form the basis of the following report.

## Executive Summary

- As of April 1<sup>st</sup>, the provincial snowpack is extremely low, averaging 63% of normal across B.C. Last year, the provincial average was 88%.
- The Fraser River at Hope snow basin index is well below normal at 61%.
- It is the lowest snowpack on record since 1970, at least, for the province and the Fraser River.
- By April 1<sup>st</sup>, 95% of the seasonal snowpack has typically accumulated.
- Dry conditions persisted through much of March. Many locations in the northern and interior regions measured near record low precipitation for the last month.
- Below normal spring freshet flood hazard is expected this season due to low snowpack. Local flooding from extreme rainfall is possible.
- Low snowpack and seasonal runoff forecasts combined with warm seasonal weather forecasts and lingering impacts from on-going drought are creating significantly elevated drought hazards for this upcoming spring and summer.

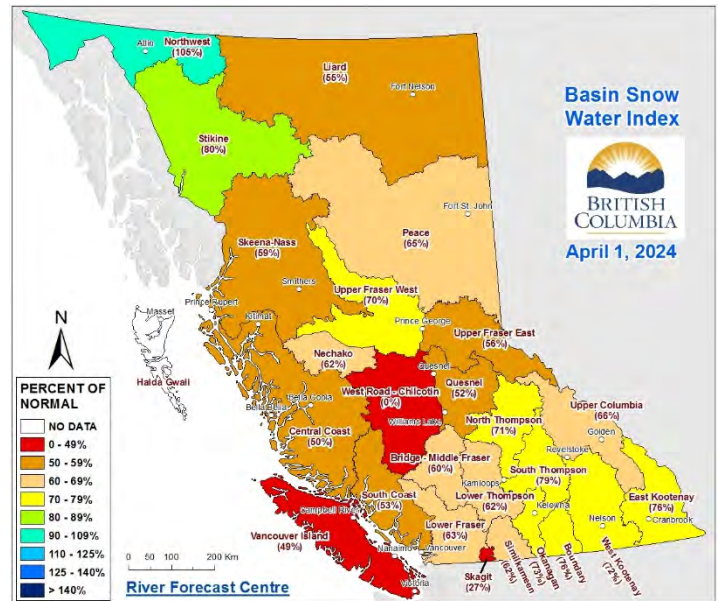


Figure 1. April 1<sup>st</sup>, 2024 Basin Snow Water Index Map of British Columbia. Larger and colour-friendly versions available in full report.

Table 1. April 1<sup>st</sup> 2024 Snow Basin Indices in B.C.

Basin	% of Normal	Basin	% of Normal	Basin	% of Normal
Upper Fraser West	70	North Thompson	71	South Coast	53
Upper Fraser East	56	South Thompson	79	Vancouver Island	49
Nechako	62	Fraser River	64	Central Coast	50
Middle Fraser	57	Upper Columbia	66	Skagit	27
Lower Thompson*	62	West Kootenay	72	Peace	65
Bridge*	60	East Kootenay	76	Skeena-Nass	59
Chilcotin*	0	Boundary	76	Liard	55
Quesnel*	52	Okanagan	73	Stikine	80
Lower Fraser	63	Similkameen	62	Northwest	105
		Nicola	61	Fraser @ Hope	61

### British Columbia 63% of Normal

\* Sub-basin of Middle Fraser # Insufficient data to calculate a Snow Basin Index Normal Period (1991-2020)

Next scheduled snow bulletin release: May 9, 2024

## Olena Moshko

---

**From:** LCRB Liquor Policy LCRB:EX <LCRBLiquorPolicy@gov.bc.ca>  
**Sent:** Friday, April 5, 2024 10:55 AM  
**Subject:** Bulletin 24 - 02, 03, 04: Improved visitor experience at manufacturing sites  
**Categories:** Olena

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

This email is to inform you of policy changes that affect the following licence type:

- Manufacturer

In response to industry feedback, the Liquor and Cannabis Regulation Branch has amended the Liquor Control and Licensing Regulation and manufacturer licence policies to improve the visitor experience at manufacturing sites. The changes bring increased flexibility for packaged liquor sales, tasting experiences, and consumption options.

Please review the changes on our website in:

- [Bulletin 24-02: Sales in a picnic area](#)
- [Bulletin 24-03: Mobile sales from an on-site store](#)
- [Bulletin 24-04: Guided tours and sampling changes](#)

To read all the rules about the policy changes, please reference the:

- [Manufacturer Licence Terms and Conditions Handbook \(PDF, 593KB\)](#)
- [Liquor Policy Manual \(PDF, 1,7KB\)](#)

LCRB bulletins are sent to local government, First Nation and police partners. If you have questions about the policy, why you are receiving this information or to update your communications preferences, please contact [LCRBLiquorPolicy@gov.bc.ca](mailto:LCRBLiquorPolicy@gov.bc.ca).

Kind regards,

Liquor Policy and Communications  
Liquor and Cannabis Regulation Branch  
[www.gov.bc.ca/lcrb](http://www.gov.bc.ca/lcrb)

Please consider the environment before printing this email.

To protect your privacy, Liquor and Cannabis Regulation Branch will not accept emailed applications containing credit card information.

This communication (both the message and any attachments) may be confidential and protected by privilege. It is intended only for the use of the person(s) to whom it is addressed.

Any distribution, copying, or other use by anyone else is strictly prohibited. If you have received this email in error, please destroy the email and any attachments immediately and notify me by email.

## Heather MacRae

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**From:** Bill Lawrence <billiam.lawrence@gmail.com>  
**Sent:** Tuesday, April 9, 2024 3:56 PM  
**To:** City Hall  
**Subject:** Reinstatement of SFU Football Program: A Call for Support  
**Attachments:** LETS BRING IT BACK - SFU Football Alumni Society Video Campaign - 2024\_ (002).pdf; Video Recording Instructions .docx

**Categories:** Heather

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mayor Herb Pond and Councillors of Prince Rupert,

I hope this email finds you well. My name is Bill Lawrence, and I'm a three-term Councillor for the City of White Rock, as well as an alumnus of Simon Fraser University's football program. I am reaching out to you today to seek your assistance in advocating for the reinstatement of a football program that has left an indelible mark on my life and the lives of countless others over the decades.

As a former student-athlete at SFU, I can attest to the transformative power of participating in collegiate sports. The values of teamwork, discipline, and perseverance instilled in me during my time on the football field have been instrumental in shaping not only my character but also my ability to serve our community effectively. However, I was disheartened to learn of the discontinuation of the SFU football program, a decision that deprives current and future students of invaluable opportunities for personal and athletic growth.

**Please take a moment to read the attached letter and record a ten second message, and send it in this week.** Perhaps you went to SFU or know someone who has? Your support in this endeavor would be greatly appreciated.

Warm regards,

Bill

--

Bill Lawrence 604-880-7670

This e-mail message (including attachments, if any) is intended for the use of the individual or entity to which it is addressed and may contain information that is privileged, proprietary, sent without prejudice, confidential and exempt from disclosure. If you are not the intended recipient, you are notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify the sender and erase this e-mail message immediately.



## REPORT TO COUNCIL

### Meeting of Council

**DATE:** April 22nd, 2024  
**TO:** Robert Buchan, City Manager  
**FROM:** Richard Pucci, Director of Operations & Intergovernmental Relations  
**SUBJECT:** 6<sup>th</sup> AVENUE BRIDGE PROJECT - PROJECT AWARD - RFT-23-0089

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#### **RECOMMENDATION:**

**THAT Council directs Staff to Award the 6<sup>th</sup> Avenue Bridge Project to Surespan Construction Ltd.**

#### **REASON FOR REPORT:**

The Operations Department is approved to complete significant repairs on the 6<sup>th</sup> Avenue Bridge in 2024.

#### **ANALYSIS**

The City received four compliant proposals before the closing time on April 2nd, 2024, three of which were within our Capital Budget. The Engineer of Record (AllNorth) and Staff have reviewed the proposals, and Surespan Construction Ltd. has been identified as the bidder with the lowest compliant bid. The City has reviewed their experience and confirmed they have successfully performed this type of work in the past.

#### **COST:**

This Resolution supports the Council's Strategic Plan for community transportation and has no current Annual Budget impact.

#### **CONCLUSION:**

**THAT Council directs Staff to Award the 6<sup>th</sup> Avenue Bridge Project.**

Report Prepared By:

Report Reviewed By:

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Richard Pucci,  
Director of Operations &  
Intergovernmental Relations

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Robert Buchan,  
City Manager

Originally signed available on request



## REPORT TO COUNCIL

**DATE:** April 11, 2024  
**TO:** Mayor and Council  
**FROM:** Robert Buchan, City Manager

**SUBJECT:** City Health Care Improvement Strategy

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### **RECOMMENDATION:**

**THAT Council approve the proposed City Health Care Improvement Strategy.**

### **REASON FOR REPORT:**

Council's Strategic Plan identifies the following action to address the strategic goal of fostering its local economic, social, and environmental well being so its residents and businesses have a sustainable and prosperous future: "Develop City Strategy to advocate for quality local health care services". This report responds directly to that action item.

### **BACKGROUND**

The City of Prince Rupert experienced 10 emergency department closures during the month of March, 2024 as a result of there not being doctors available to staff the department. The Province of BC and Canada have been challenged by shortages of doctors and medical staff and this shortage is a core cause of the local closures. Prince Rupert and other communities are not sufficiently served with medical services and compete for limited personnel.

Meetings were held in the City on April 8<sup>th</sup> and 10<sup>th</sup> on our emergency department closures. The first was a broader meeting with broad representation from the community and the second was with the City and Northern Health management. During those meetings it was clear that there were issues that will take longer timeframes for the province to address and issues that were more immediate, shorter term issues that the local community and City might have a role in addressing. Rectifying this larger issue is outside the sphere of the City's influence, but advocating for effective recruitment and retention of doctors and other medical staff is an appropriate activity for the City.

Drawing from these discussions, an initial action framework is presented here for consideration.

### **“City of Prince Rupert City Health Care Improvement Strategy**

Recognizing that the City of Prince Rupert does not have direct responsibility, nor the resources, for providing local health care service, but that the City does have some ability to influence and facilitate the delivery of improved services, the following actions form the initial actions for the City to encourage improve health care delivery:

- 1) The City should request Northern Health Authority to mandate its Healthy Community Committee (HCC) to pivot from addressing a broad range of local issues to focus at this time only on Doctor Recruitment and Retention in order to resolve the emergency department doctor shortage. Once this immediate goal is successful, this could be expanded to other key medical services staff.
- 2) The HCC should include representation from key industries, business, medical and community stakeholders, along with City participation.
- 3) The HCC should inform and coordinate advocacy and direct action on recruitment and retention efforts.
- 4) The HCC should work with local industry and business to develop a plan to welcome and support new recruits in the Community.
- 5) In addition to City participation on the HCC, the City should offer to be involved in local dialogues with health service providers and offer support through advocacy.
- 6) The City should offer to participate in recruitment efforts by preparing a Community Profile to inform prospective doctors about the living environment in Prince Rupert and a positive and accurate manner to ensure new doctor and their families are aware of the quality of life and that this matches their own goals—ensuring a fit between doctor and community.
- 7) The City or other Community organization should consider sending a representative/ambassador to recruitment meetings to promote Prince Rupert and inform prospective staff.
- 8) The City can help inform the community about changes in health services to ensure residents are fully aware of options. For example, we could highlight the new and expanded services Pharmacists can play in diagnosing and treating some medical conditions.
- 9) The City should continue to be a strong voice to the Province and Northern Health Authority on the provision of health services through correspondence and meetings.
- 10) Staff should prepare a budget amendment request for funding required for implementing these actions.”

The current Health Service problem in Prince Rupert is a complex issue affected by many things outside of the City’s control. The Province of BC is addressing this problem

through its Health Human Resource Strategy and while this strategy addresses many things including the lack of doctor/staff supply, it is likely to take years to have full effect. In the interim, the City's efforts should be focused on supporting and advocating effective recruitment and retention efforts. The above action items, along with other Council suggestions, may form an initial City Health Care Strategy that could be modified as work proceeds in each action.

## **FINANCIAL IMPLICATIONS**

Action items 6 and 7 would have financial implications and these should be quantified and presented to Council for approval.

## **CONCLUSION:**

It is recommended that Council approve the draft City Health Care Strategy for implementation.

## **Report Prepared By:**

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Robert Buchan  
City Manager

Originally signed available on request



## REPORT TO COUNCIL

**DATE:** April 22<sup>nd</sup>, 2024  
**TO:** Robert Buchan, City Manager  
**FROM:** Myfannwy Pope, Director of Planning and Development Services;  
Veronika Stewart, Manager of Communications, Engagement and Social  
Development

**SUBJECT: PROPOSED EXPANDED SCOPE FOR JAPANESE CANADIAN  
LEGACIES PROJECT**

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### RECOMMENDATION:

**THAT Council direct staff to proceed with an application to the JCLS Fund for up to \$400,000 towards a memorial project in Mariners Park; and,**

**THAT Council approve moving forward in the application with both approved sites in Mariners Park, with the selection of the current memorial wall site pending secured funding for removal and replacement of the existing Mariners Memorial wall, AND;**

**THAT If no funding is available for the removal and replacement of the existing Mariners Memorial wall, that the project proceed on the secondary site in Mariners Park.**

### REASON FOR REPORT:

As you are aware, on January 22, Council passed a resolution directing staff to allocate staff resources to completing the application for Japanese Canadian Legacy Society's (JCLS) Heritage Sites Fund, and if successful, work with a community champion to implement the project. This is a one-time funding opportunity under the Province, and JCLS is very eager to work with us given the important Japanese Canadian history in Prince Rupert that does not currently have obvious commemoration. Given interest and stated importance of Prince Rupert to Japanese Canadian history in BC, JCLS has since increased the original potential funding maximum from \$50,000 to \$400,000 to implement a broader project that may be inclusive of signage, seating, a covered area, and hardscaping. Specifically, JCLS is particularly interested in seeing a project that would include a covered Japanese-style gazebo with some hardscaping, interpretive signage, and seating in Mariner's park, as well as potentially some trees. This report details the broader context and opportunities associated with an amended scope for the application.

### BACKGROUND:

Considering the opportunity to increase the scope and benefit of the project, Planning, Operations and Communications staff have worked to identify a suitable location in Mariner's Park that would be both appropriate to the desires of the JCLS and would provide a community amenity for residents and visitors to enjoy. In identifying a suitable location and visual inspection of the existing memorial wall in the park, it was also apparent that additional attention is needed to existing memorial wall in Mariners Park that is dedicated to those lost at sea. This project presents an opportunity to capitalize around momentum in this area, as well as a secondary site option should the initial suggested area not be feasible at this time.

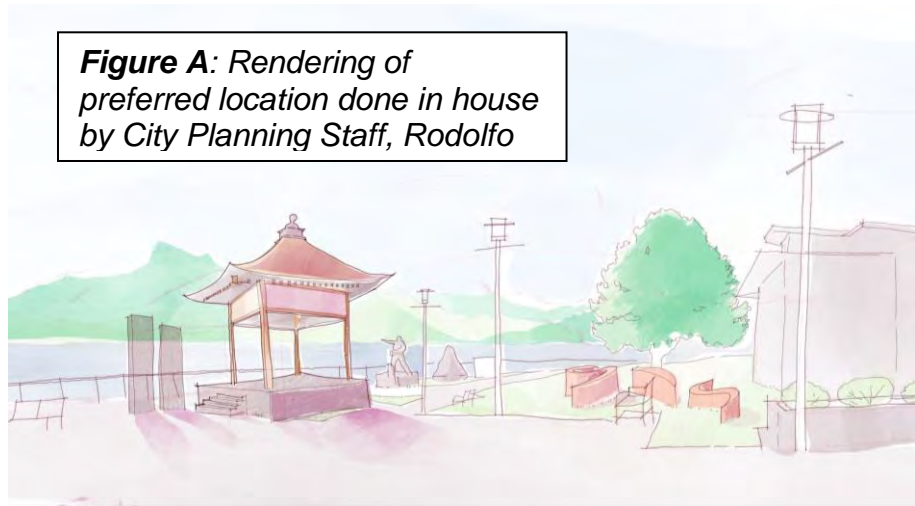
## **ANALYSIS:**

### *Proposed (Minor) Relocation of Memorial Wall for those Lost at Sea*

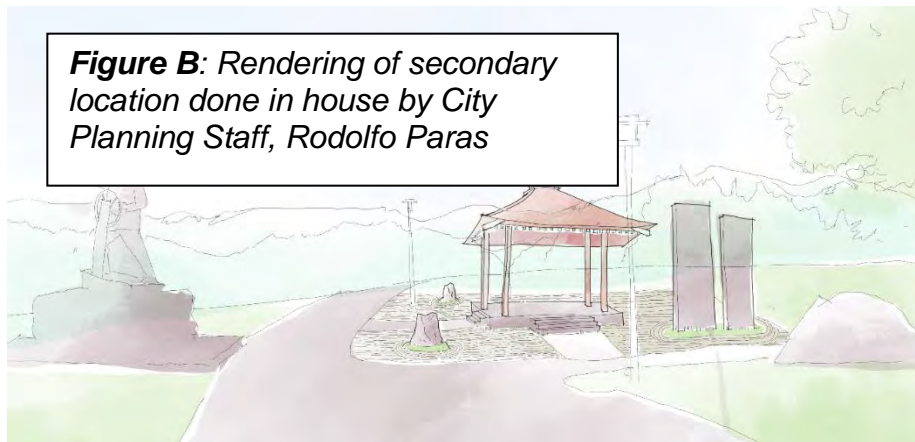
The existing wall structures dedicated to those who lost their lives at sea in the park are in very poor condition, and it is likely that they will need to be removed/replaced in the near term. Based on preliminary renderings of what the proposed JCLS memorial may look like in a few different areas of Memorial Park, an opportunity identified by staff is where the existing memorial walls are located, with the suggestion to relocate and replace the existing wall structures to the hilled area just behind its current location. Below is a rendering developed by staff of what that potential relocation could look like.

The new orientation would enable loved ones to visit the memorial walls, and then to benefit from the opportunity to sit as a group in the new covered space provided via JCLS funding. If the City is unable to secure funds for the memorial wall replacement, the covered space could be placed at an alternative location closer to the statue (see right). However, it is worth noting that the City will still likely need to replace the memorial walls in the near future due to their current age and condition. Coordinating with the proposed project may allow for cost savings on construction mobilization.

**Figure A:** Rendering of preferred location done in house by City Planning Staff, Rodolfo

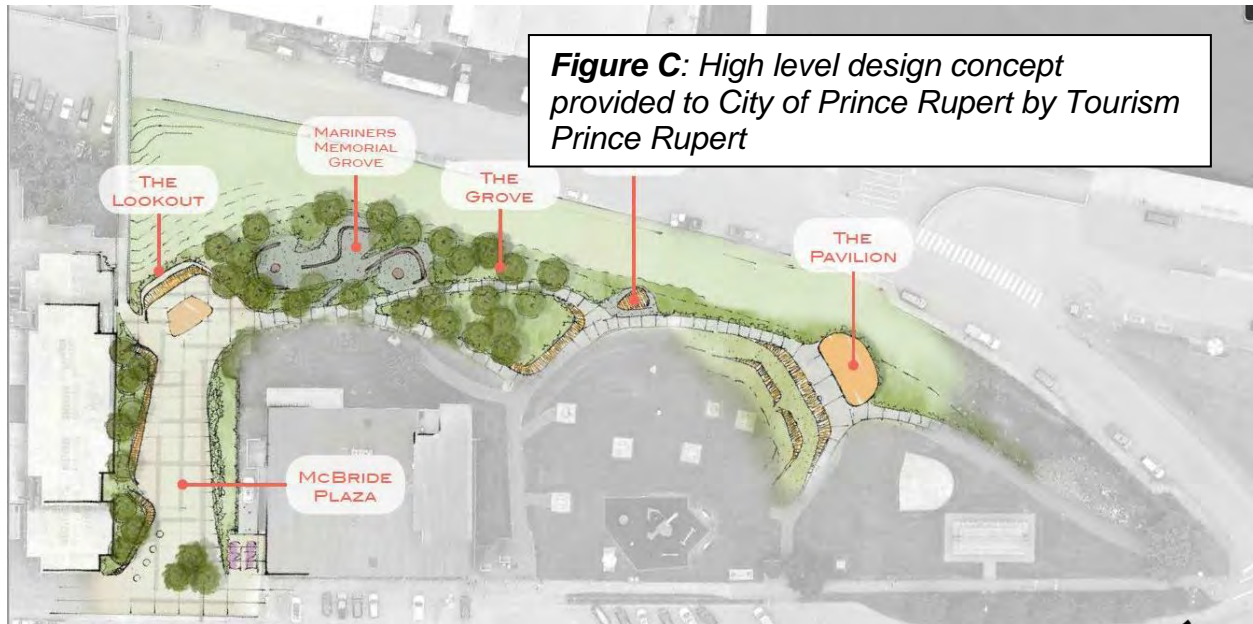


**Figure B:** Rendering of secondary location done in house by City Planning Staff, Rodolfo Paras



This proposal also aligns with the initial designs that were developed for Tourism Prince Rupert following community engagement by Atmospheric Perspective architects – which identified that area as a 'contemplative' zone. Based on community input, the designers had proposed more intentional

'zoning' of the park and intention in the way that spaces were laid out in order to maximize its use and community benefit. The 'zones' identified in the plan are below. The 'Grove' area identified below would be extended into the hillside above according to our proposal and the below drawing.



This proposal has the potential to result in additional costs and risks to the City due to additional maintenance for the amenity, however staff will work to reduce these potential costs through effective design. For instance, the use of hardscaping would be employed to limit any additional vegetation management or mowing. The gazebo is also proposed to be fabricated from metal to prevent any risk of fire and for graffiti proofing. Given the potential budget, we would have a contracted project manager for the project to work with staff and the community champion to execute the project and limit additional demand for staff capacity.

Timing renewal of the memorial wall and JCLS gazebo/memorial project together would enable the City to realize the design presented in Figure A and result in potential cost savings for planning, landscaping and construction. It may also enable the City to leverage both projects to apply for funds to improve other areas of the park, given noted recent interest from the Rotary club in investing in a performance space.

Knowing the sensitivity of the project, Staff has met with the Prince Rupert Archives to ensure that there is full understanding of the history of the existing wall and expectations that were conveyed to initial participants in the program. If funding is secured to move forward with proposed improvements, additional outreach would be conducted to the community, and efforts made to contact initial families of those memorialized in the current wall. In addition, the Director of Operations and Intergovernmental Relations has reached out to area First Nations to inform them of the proposed project and invite future discussions on memorials in the park.

#### **LINK TO STRATEGIC PLAN:**

The proposal for reorientation of memorial structures in Mariner's Park meets several policy objectives, as well as fits well within the proposed area. This proposal strongly aligns with policy

direction and projects in the Parks and Outdoor Recreation Plan, including the overall objectives to nurture a sense of community and belonging and to provide well-designed facilities and amenities. The Pacific Mariners Memorial Park was mentioned by 96% of the people surveyed as one of the top three most visited parks. The addition of covered spaces was listed as a high priority improvement needed for this community park, which is a commonly requested amenity given Prince Rupert's inclement weather.

The JCLS project also aligns with Council's strategic goal of fostering its local economic, social, cultural and environmental well-being. There is also some alignment with the action of preparing a place-making plan to celebrate the community's unique cultural identities under council's goal for community renewal. The project provides an amenity that celebrates local heritage and culture that can be enjoyed by locals and tourists alike given its proximity to the cruise ship terminal, and connection to work ongoing to recognize Japanese Canadian legacy at the North Pacific Cannery. In addition, staff is proactively taking this opportunity to look at our memorial programming from a birds eye view with an aim to improve the offerings to the community while also ensuring the program is sustainable over the long term. In summary, staff believe that the above recommendations are aligned with council and community objectives.

**COST:**

The JCLS Funding application will fund up to \$400,000 towards the new memorial structure to Japanese Canadian residents, with a specific focus on the impacts of WWII internment. If the secondary location in Figure B is selected, this will be no additional cost to the City apart from staff time to oversee the project. If the City does decide to locate the project at the existing memorial wall to those lost at sea, it is estimated it will likely cost ~\$100,000 to remove and replace the walls. Any funding for this relocation will result in a taxation increase, and staff will endeavor to find grant funding to subsidize this cost if possible.

**CONCLUSION:**

Staff have the following recommendations:

THAT Council direct staff to proceed with an application to the JCLS Fund for up to \$400,000 towards a memorial project in Mariners Park; and,

THAT Council approve moving forward in the application with both approved sites in Mariners Park, with the selection of the current memorial wall site pending secured funding for removal and replacement of the existing Mariners Memorial wall, AND;

THAT If no funding is available for the removal and replacement of the existing Mariners Memorial wall, that the project proceed on the secondary site in Mariners Park.

**Report Prepared By:**

**Report Reviewed By:**

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Myfannwy Pope,  
Director of Planning and  
Development Services

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Robert Buchan,  
City Manager

Originally signed available on request



**From Prior Meeting &  
For Reference Purposes Only.**

## **REPORT TO COUNCIL**

### Regular Meeting of Council

**DATE:** April 08, 2024  
**TO:** Robert Buchan, City Manager  
**FROM:** Rodolfo Paras, Urban Planner 1

**SUBJECT: DEVELOPMENT VARIANCE PERMIT #24-01 – PID 031-690-823**

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#### **RECOMMENDATION:**

THAT Council proceeds with the statutory notification process for Development Variance Permit (DVP) #24-01

#### **REASON FOR REPORT:**

An application was received for a Development Variance Permit for the property with the Parcel Identifier 031-690-823, located on Seal Cove Circle.

The application involves:

1. A request for a variance of the City of Prince Rupert Zoning Bylaw, Section 5.2 Minimum Dimensions Required for Yards (c), to build a non-masonry chimney that would be 0.58 metres (22") from the side property line. The required side setback for a building in an R2 zone is 1.2 metres. The applicant is requesting a variance of 0.62 metres (24") to the side setback.

The Site Survey and elevation drawing are included as Attachment 3.

#### **BACKGROUND & ANALYSIS:**

The applicant requests the proposed variance to the north-east property setback to accommodate a non-masonry chimney, part of a proposed new private residence. The applicant intends to build a new house for their family, and although the proposed residence does not encroach, their proposed chimney would encroach into the side setback 24" (0.62 metres).

The encroachment into the side setback may affect the perceived views of the neighbours in a minor manner; however, neighbours and the public will have the opportunity to provide input during the public notification period. The proposed variance has no other known negative impacts on the surrounding neighbourhood.

The Draft Development Variance Permit is included as Attachment 1.

**COST:**

There are no costs or budget impacts to the City from granting, or not granting, the variance.

**CONCLUSION:**

This Development Variance Permit application is recommended to proceed to public notification.

**Report Prepared By:**

**Report Reviewed By:**

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Rodolfo Paras,  
Urban Planner I

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Robert Buchan,  
City Manager

Originally signed available on request

**Attachment(s):**

- Attachment 1: Draft Development Variance Permit
- Attachment 2: Proposed Plan



**DEVELOPMENT VARIANCE PERMIT**  
FILE NO. DVP-24-01

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**PERMIT ISSUED BY:** The City of Prince Rupert (the City), a municipality incorporated under the *Local Government Act*, 424 3<sup>rd</sup> Avenue, Prince Rupert, BC, V8J 1L7

**PERMIT ISSUED TO OWNER(S):** AARON MALLETT

**APPLICANT:** AARON MALLETT

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1. This Development Variance Permit applies to those lands within the City of Prince Rupert that are described below, and any and all buildings, structures, and other development thereon:

**LEGAL DESCRIPTION:**

LOT A BLOCK 6 SECTION 7 RANGE 5 COAST DISTRICT PLAN EPP120579

**PARCEL IDENTIFIER:**

031-690-823

2. This permit varies the City's Zoning Bylaw (Bylaw #3462) as follows:
  - a. Section 5.2 Minimum Dimensions Required for Yards (c) varies from 1.2 metres to 0.62 metres (24 9/16 inches) setback from the side property line.
3. This permit is issued subject to the following conditions to the City's satisfaction:
  - a. The permittee(s) develop(s) the proposed development in accordance with the Site and Building Plan attached as Schedule 1.
  - b. Compliance with all of the bylaws of the City of Prince Rupert applicable thereto, except as specifically varied or supplemented.
4. If the permittee(s) does/do not substantially commence the development permitted by this permit within 24 months of the date of this permit, the permit shall lapse and be of no further force and effect.
5. This permit is **NOT** a Building Permit or Subdivision Approval.
6. This permit does not authorize works on adjacent properties. Encroachment on any adjacent property for the purposes of excavation, or the deposit or removal or fill requires the written consent of the owner of such adjacent property.

7. The terms and conditions contained in this permit shall inure to the benefit of, and be binding upon, the owner(s), their executors, heirs or administrators, successors and assignees as the case may be or their successors in title to the land.
8. The following plans and specifications are attached to and form part of this permit:
  - a. Schedule 1: Site and Building Plan

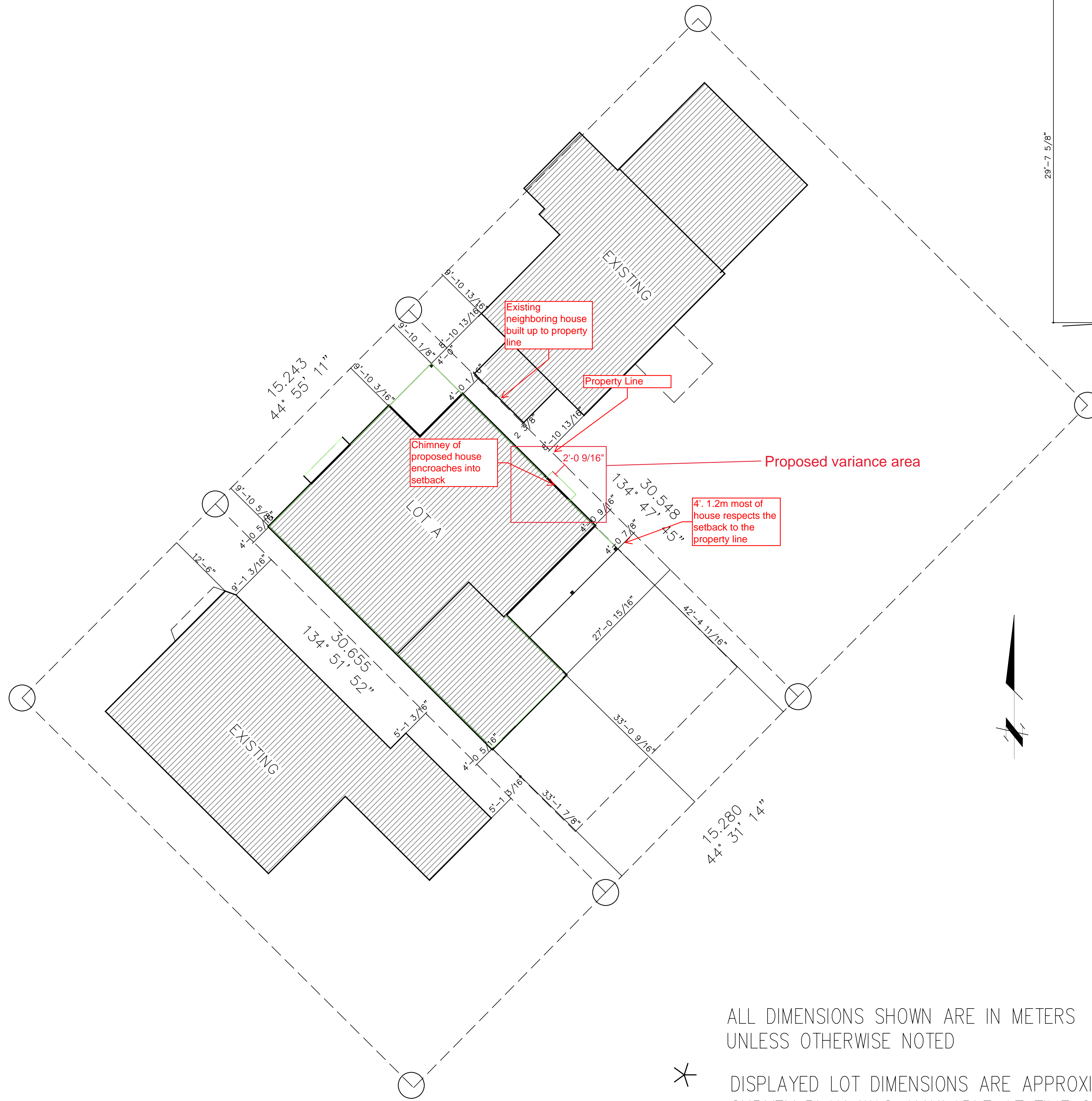
ISSUED ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

**CITY OF PRINCE RUPERT**  
**By an authorized signatory**

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**Rosamaria Miller**  
Director of Corporate & Legislative  
Services Corporate Officer

DRAFT



FRONT ELEVATION

SITE PLAN

CIVIC ADDRESS: ----- SEAL COVE CIRCLE	
LEGAL DESCRIPTION: LT A, BLK 6, DL 251, PL EPP120579, RANGE 5 LAND DISTRICT PID 031-690-823	
SIZE OF PROPERTY: 5025 SQ.FT. FOOTPRINT**: 2200 SQ.FT. SITE COVERAGE: 44%	
** BUILDING PLUS DECKS OVER 2 FT ABOVE GROUND	
LEGEND	
	DRAINAGE FOR SURFACE WATER
	DRIVEWAY
	EXISTING ELEVATION

ALL DIMENSIONS SHOWN ARE IN METERS  
UNLESS OTHERWISE NOTED

\* DISPLAYED LOT DIMENSIONS ARE APPROXIMATE, NO LAND  
SURVEY PLAN WAS AVAILABLE AT TIME OF LATEST  
REVISION.

SEAL COVE - SITE PLAN

CUSTOMER: SEAL COVE	
THIS PLAN IS ACCEPTED AS DRAWN.	
DWG. TITLE:	SITE PLAN
REVISION NUMBER:	03
DR. BY:	ADM
COM. NO.:	SEAL COVE
DATE:	MAY 12, 2023
SCALE:	NTS
SHEET:	11 OF 11
LOCATION:	PRINCE GEORGE B.C.
CUSTOMER SIGNATURE:	
DATE:	

# PUNNETT MALLETT RESIDENCE

## LOT A, BLOCK 6 SEAL COVE CIRCLE, PRINCE RUPERT, BC



590A Tomlin Road  
Prince George, BC  
V2K 4L4  
Canada

Toll Free: 1.888.296.8059  
wintonhomes.ca

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## GENERAL NOTES

### STANDARD NOTES

- By commencing construction of a building from these drawings, the owner and/or contractor/builder acknowledge that they have read and understand the GENERAL NOTES AND SPECIFICATIONS as follows.
- The following notes are to be included with and become part of the attached plans.
- All work shall conform to the current edition of the BCBC or local Building Bylaws which may take precedence.
- All work shall be equal in all respects to good building practice.
- Written dimensions take precedence over scaled drawings.
- The consultant shall not be responsible for any variances from the structural drawings and specifications, or adjustments required which result from conditions encountered at the job site and is the sole responsibility of the owner or contractor.
- Construction loads on the structure caused by interim storage of materials or use of equipment shall not be allowed to exceed the design loads.
- Owner and/or contractor/builder to verify all dimensions and specifications before proceeding with construction.

### ERRORS AND OMISSIONS

The consultant makes every effort to provide complete and accurate home plans. However, the consultant assumes no liability for any errors or omissions which may affect construction. It is the responsibility of the contractor/builder to check and verify all dimensions, details and specifications before proceeding with construction.

Should any discrepancies be found on these plans, please advise the consultant at your earliest convenience. By doing so the consultant will be able to make corrections to the drawings and replace any plans purchased if necessary. In this way the consultant can better serve you and prevent errors from recurring.

### STRUCTURAL DESIGN

It is necessary in some instances to use beam sizes and framing details not specified by current Building Codes. Although these plans are designed using standard engineering and building practices, the authorities having jurisdiction may require confirmation by a Professional Engineer which is the responsibility of the owner or contractor/builder to provide.

### STRUCTURAL DESIGN CRITERIA

- Assumed roof design live load components - 39.7 GSL, 8.4 RL
- Assumed roof design dead load - 15psf
- Assumed floor design live load - 40psf
- Assumed floor design dead load - 15psf

Structural members in this home design have been designed to carry the loads listed above. Should you want to build this home plan in areas with verified higher environmental loads, or if heavier roofing & flooring materials are to be installed, the structural members must be checked or redesigned to meet these conditions. Please consult local building authorities as they may require adjustments to the plans or ask that the plans be engineered by a Professional Engineer at a cost to the owner or contractor/builder.

### HEATING

- Installation of heating systems must comply with manufacturers specifications and must conform to local codes and regulations.
- Gas connection will require separate permit and inspection.
- Fuel burning appliances, including furnaces, fireplaces and stoves, to be provided with combustion air supply from the exterior.

### WOOD FRAMING

- All framing & fastening to be in accordance to the BCBC 2018, unless noted otherwise.
- All LVL beams to be 2.0E, 2800Fb and posts to be 1.7E, 2650Fb. Laminated plies as per MFR specs.
- Owner or contractor/builder to confirm all rough openings for windows, doors and other units before construction begins. Consult the manufacturer/supplier of these units.
- Security blocking to be installed at mid height in stud cavities adjacent to exterior doors.
- Owner or contractor/builder to provide proper framed backing between studs, trusses, rafters and joist etc. for secure installation of special items such as handrails, grab bars, plumbing and electrical fixtures etc.
- Dimensions are from outside face of exterior wall sheathing to the face of partition wall framing unless otherwise noted. Drywall thickness is NOT included. The face of exterior wall sheathing, floor system rim joists and foundation wall faces to be flush unless noted or shown otherwise.
- Bearing length for girder trusses and engineered beams to be specified by a Professional Engineer, truss manufacturer and/or engineered beam supplier.

### FOUNDATIONS

- Interior partitions over 6'-0" long running parallel to the floor joist direction shall have either double joists or cross framing for support from below. Floor joists to be placed to accommodate heating, plumbing, chimneys, etc.
- Slope deck and verandah joists away from the home, if applicable.
- All lintels shall be laminated 2 ply 2x10 SPF #2 unless noted otherwise.
- Install all metal connectors as per MFR specifications.
- Use corrosion resistant connectors with treated lumber.
- All nailing for wood framing to conform to the current Building Code requirements.
- Wood in contact with concrete to be protected from dampness by sill gasket
- Conventional floor joist and roof joist spans more than 7' - 0" shall be bridged at mid span or at 7' - 0" o.c. maximum unless sheathed or strapped both sides with wood unless noted otherwise. Bridging shall be 2x2 diagonal type unless noted otherwise.
- Footing sizes to be determined by the contractor/builder to accommodate jobsite soil bearing capacity.
- Truss drawings shall be stamped and sealed by the manufacturer and delivered with Permit drawings
- Foundations shall be concrete on solid undisturbed load bearing soil and below frost line. Please refer to part 9.4.4 of the NBC 2015 and BCBC 2018 for soil bearing capacities.
- Concrete foundation walls, columns and piers, fireplaces and chimneys, footings, grade beams to have a minimum compressive strength of 15 MPa after 28 days.
- Concrete in floor slabs in garages and carports, as well as in exterior steps and exterior floor slabs to have a minimum compressive strength of 32 MPa after 28 days.
- Concrete in other floor slabs to have a minimum compressive strength of 20 MPa after 28 days.
- Reinforcing bar shall conform to CAN/CSA-G30.18-M and have a min. yield strength of 400 MPa.
- Foundation walls shall not be back filled until concrete has reached its specified 28 day strength or until adequately braced subject to approval by authority having jurisdiction.
- Grades shown on plans are estimated. Foundation wall heights may require adjustment to suit site.
- All concrete and masonry foundation walls exceeding height limits as specified by current Building Codes will require a Professional Engineer's certificate at a cost to the owner.
- Any pier extending above grade 24" or more than it does below grade shall have diagonal bracing to resist lateral forces. Design of piers and lateral bracing to be provided by a Professional Engineer at a cost to the owner or contractor/builder.
- Perimeter drainage shall be installed to comply with current Building Code min. requirements

### INSULATION AND FENESTRATION

Step Code 3 Performance Path for Part 9 Buildings - Compliance Report Provided by Energy Advisor

Prescriptive Alternative for Part 9 Buildings if permitted by the Authority Having Jurisdiction

Minimum effective RSI value requirements w/ HRV and/or Heat Pump per Table 9.36.2.6.C. BCBC 2018:

Building Assembly	Zone 4	Zone 5	Zone 6	Zone 7A	Zone 7B	Zone 8
Ceilings below attics	8.67	8.67	10.43	10.43	10.43	10.43
Cathedral ceilings & flat roofs	4.67	4.67	4.67	5.02	5.02	5.02
Framed exterior walls	3.08	3.69	3.69	3.69	3.96	3.96
Floors over unheated space	4.67	4.67	4.67	5.02	5.02	5.02
Foundation walls	3.46	3.97	3.97	3.97	3.97	3.97
Unheated Floor below frost line	2.98	2.98	2.98	2.98	2.98	2.98
Unheated Floor above frost line	3.46	3.46	3.46	3.46	3.46	3.46
Heated floors	3.46	3.46	3.46	3.97	3.97	3.97
Slab-on-grade with an integral fig.	3.46	3.46	3.46	3.97	3.97	3.97
Fenestration & Doors (Prescriptive)	1.22	1.22	1.22	1.22	1.22	1.22
Fenestration & Doors (Performance)	1.84	1.84	1.61	1.61	1.44	1.44

- Assumed fenestration performance calcs -
  - 25 Minimum performance grade
  - 260 Minimum water resistance pressure
  - A2 Minimum Canadian air infiltration/exfiltration

- 6 mil poly vapour barrier shall be installed on the warm side of batt insulation.
- Ceiling insulation may be loose fill or batt type, wall and floor insulation to be batt type.
- Provide insulation stop or air space between insulation and roof sheathing between roof trusses or roof rafters at the exterior wall line.
- Walls and ceilings between residence and attached garage or carport shall be insulated.
- All roof spaces shall be ventilated with perforated soffit, roof vents, or gable vents, or a combination of these distributed between top of roof space and soffit line.
- Crawlspace and roof space venting to comply with current Building Code minimum requirements.

### PLUMBING AND ELECTRICAL

- Install plumbing and electrical services to comply with current Building Code min. requirements.
- Outlet locations are to comply with current Building Code minimum requirements. Install according to the owner's and/or local authority's requirements.
- No electrical or plumbing fixture or outlet or any service run may be installed in or through party/fire separation walls between suite units.

### CONSTRUCTION SITE NOTES

- The owner or contractor/builder shall be responsible for the correct positioning of this home on the property. The consultant assumes no liability for plans complying with zoning regulations or lot conditions.
- Wells and septic disposal systems to be located and constructed in accordance with health authorities having jurisdiction.
- Driveways, walkways, steps, retaining walls, and all other site works to be designed and specified by others. Slope finish grade level away from the home.

### FIREPLACES

- All masonry applications shall be in accordance with the current Building Codes.
- All fireplace and chimney installations shall be governed, inspected and approved by the authorities having jurisdiction. A separate permit may be required.
- Zero clearance metal fireplaces and metal chimneys to be CSA approved and installed to manufacturer's specifications.
- Chimney placement to be determined after review of truss layout to ensure min. 2" clearance to framing.

### FINISHING

- All interior and exterior finishing shall be specified by owner. Finishing shown on plans shall be confirmed by owner.
- Perforated soffit to be installed to all exterior trussed ceilings.
- It is recommended that water resistant wall board be installed adjacent to plumbing fixtures.
- Exterior doors shall be solid core and weather-stripped.
- Flash at all horizontal changes in exterior finishings and caulk around all unflashed exterior openings. Flash over all unprotected openings.
- All glass in doors shall be safety glass.
- Door and window sizes are shown in feet and inches. i.e. 4036 = 4' - 0" (1219 mm) wide by 3' - 6" (1067 mm) high. Door and window rough openings to be confirmed before construction begins.

FINAL PLAN COPY  
FOR PERMITS & CONSTRUCTION

CUSTOMER:

PUNNETT  
MALLETT  
RESIDENCE

DRAWING TITLE:

TITLE PAGE

SITE ADDRESS:

LOT A, BLOCK 6  
SEAL COVE CIRCLE,  
PRINCE RUPERT, BC

DRAWN BY:

JH

SHEET:

1 OF 6

SCALE:

1/4" = 1'-0"

REVISION NO.:

5

DATE:

02/06/24

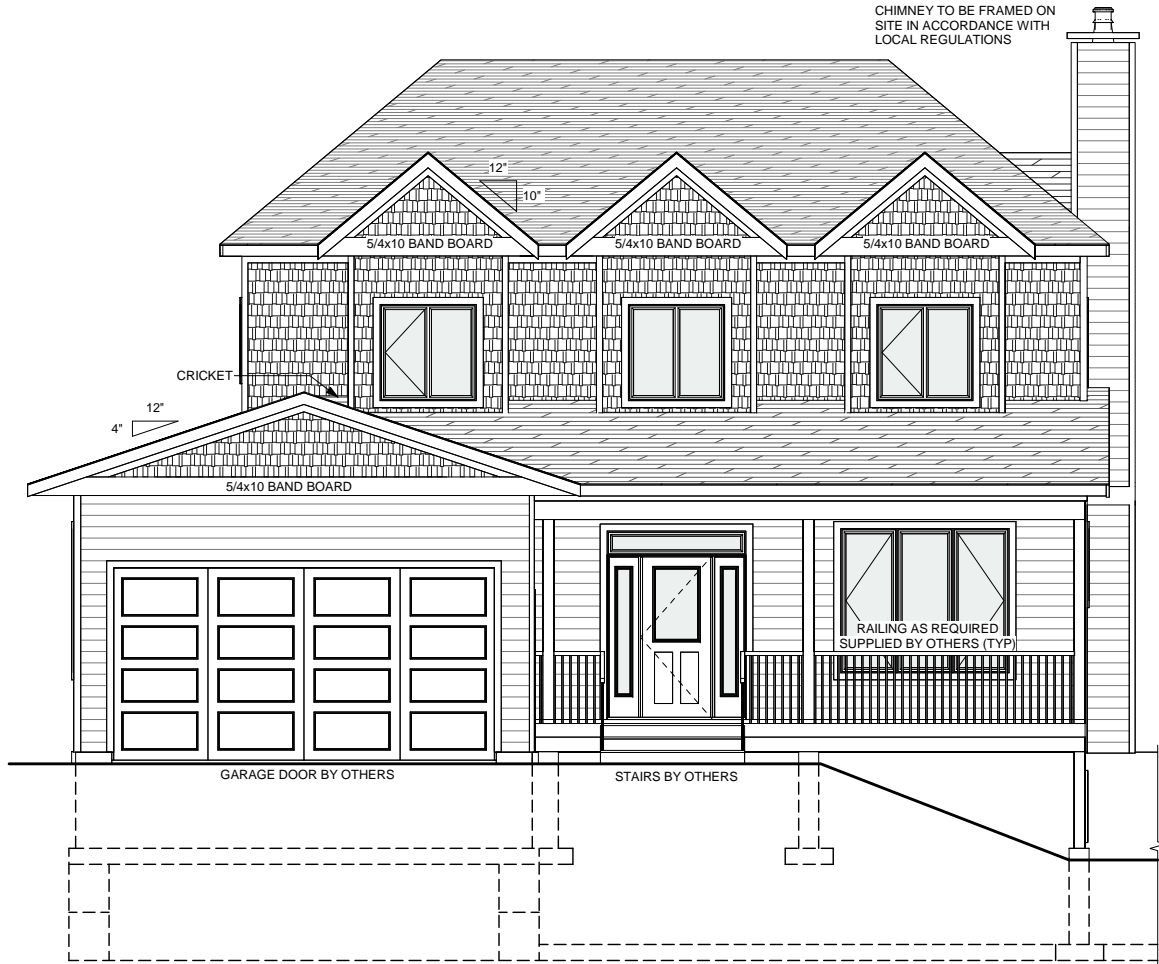
COORD NUMBER:

DRF-23-071

SUPERSEDES ALL PREVIOUS REVISIONS

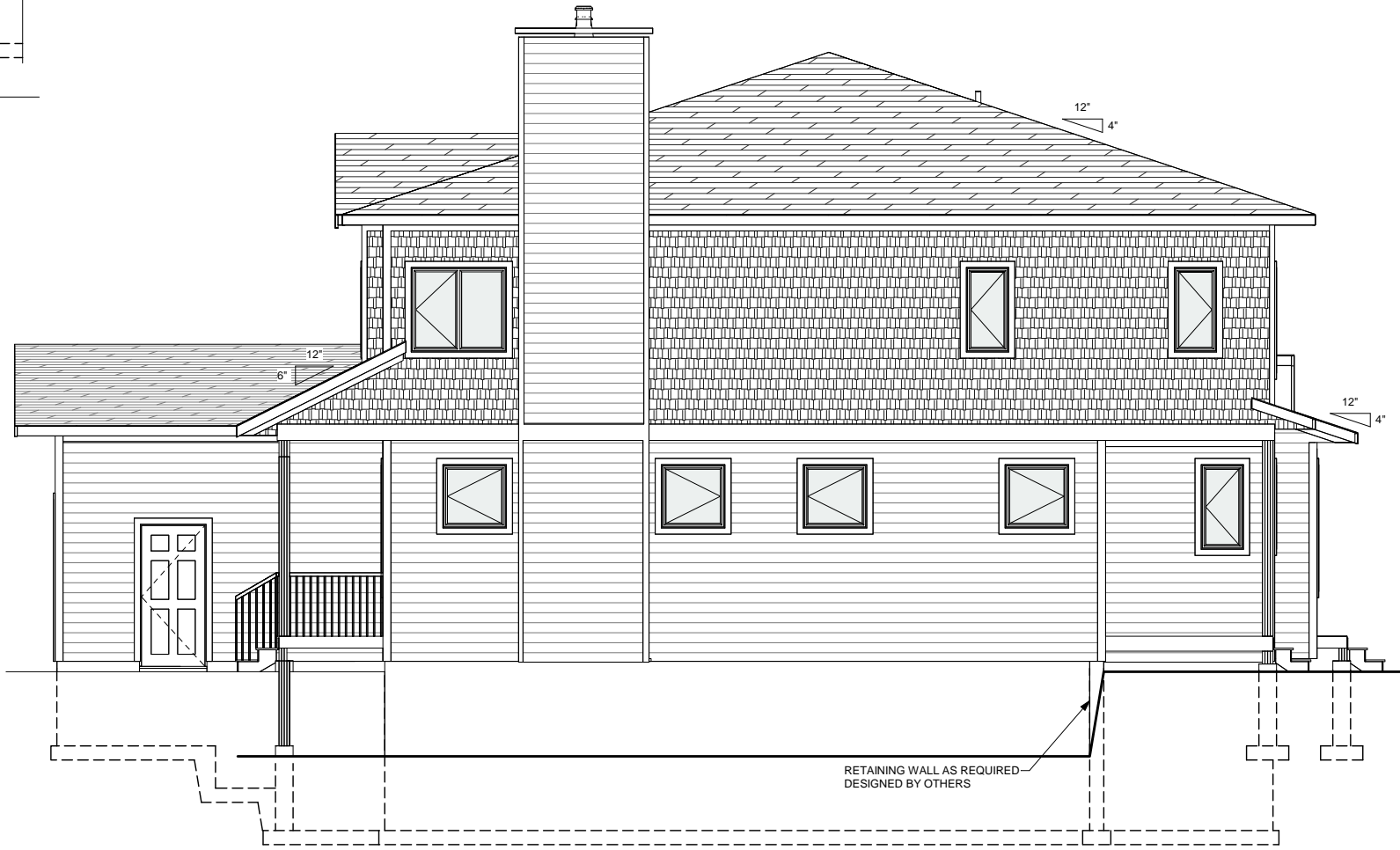
WORK ORDER NUMBER:

CHIMNEY TO BE FRAMED ON SITE IN ACCORDANCE WITH LOCAL REGULATIONS



FRONT ELEVATION  
1/4" = 1'-0"

REVISION TABLE	
REV 02	REVISED ENSUITE SHOWER TO BE 60"x36"
REV 02	ENLARGED LINEN CLOSET ON SECOND FLOOR
REV 02	MOVED FIREPLACE BACK TO LIVING ROOM
REV 02	ADDED RETAINING WALL TO RIGHT ELEVATION
REV 02	REVISED FAMILY BUMP-OUT TO HAVE A 7650 WINDOW
REV 02	RECONFIGURED FRIDGE WALL
REV 02	APPROVAL FINAL
REV 03	REVISED SECOND FLOOR SIDING TO ALL BE SHAKE
REV 03	ADDED 2040 WINDOW TO RIGHT WALL OF KITCHEN
REV 03	ADDED LAUNDRY SINK TO LAUNDRY ROOM
REV 03	REVISED APPROVAL FINAL
REV 04	REVISED FAMILY ROOM WINDOW FROM 7650 TO 7660
REV 04	REVISED OFFICE WINDOW FROM 4050 TO 4060
REV 05	REVISED VINYL SIDING TO HARDIE SIDING WITH RAINSCREEN
REV 05	REVISED FAMILY AND DINING ROOM DOUBLE DOORS TO 6080 GARDEN DOORS
REV 05	ALIGNED MAIN AND SECOND FLOOR TRUSSES TO 14" DEEP AS PER STURCTURAL DESIGN
REV 05	FINAL PLAN



RIGHT ELEVATION  
1/4" = 1'-0"



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CUSTOMER:  
**PUNNETT  
MALLET  
RESIDENCE**

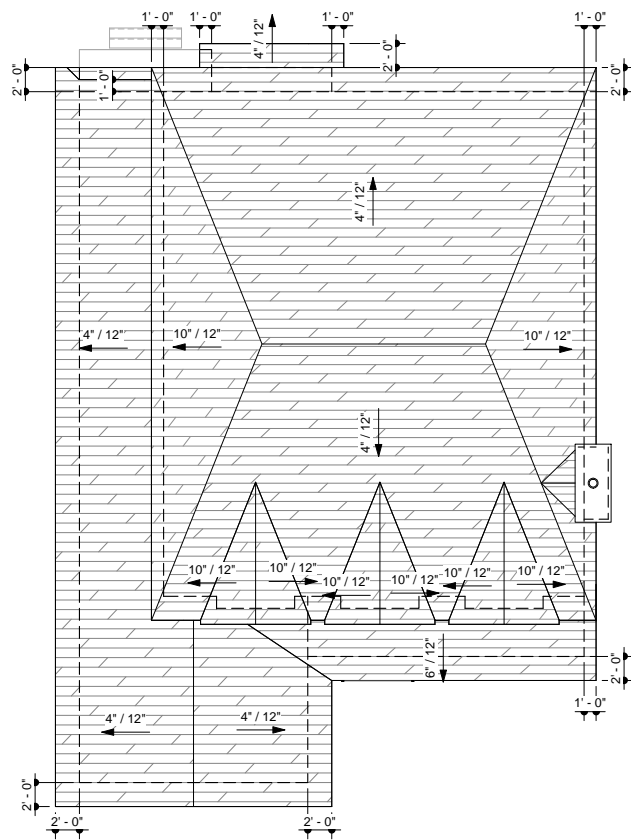
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**EXTERIOR  
ELEVATIONS**

SITE ADDRESS:  
**LOT A, BLOCK 6  
SEAL COVE CIRCLE,  
PRINCE RUPERT, BC**

DRAWN BY: JH	SHEET: 2 OF 6
SCALE: 1/4" = 1'-0"	REVISION NO.:
DATE: 02/06/24	<b>5</b>
COMM NUMBER: DRF-23-071	SUPERSEDES ALL PREVIOUS REVISIONS
WORK ORDER NUMBER:	



REAR ELEVATION  
1/4" = 1'-0"



ROOF PLAN  
1/8" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

**FINAL PLAN COPY**  
FOR PERMITS & CONSTRUCTION

CUSTOMER:

**PUNNETT  
MALLET  
RESIDENCE**

DRAWING TITLE:

**EXTERIOR  
ELEVATIONS**

SITE ADDRESS:

**LOT A, BLOCK 6  
SEAL COVE CIRCLE,  
PRINCE RUPERT, BC**

DRAWN BY:

JH

SHEET:

3 OF 6

SCALE:

As indicated

REVISION NO.:

5

DATE:

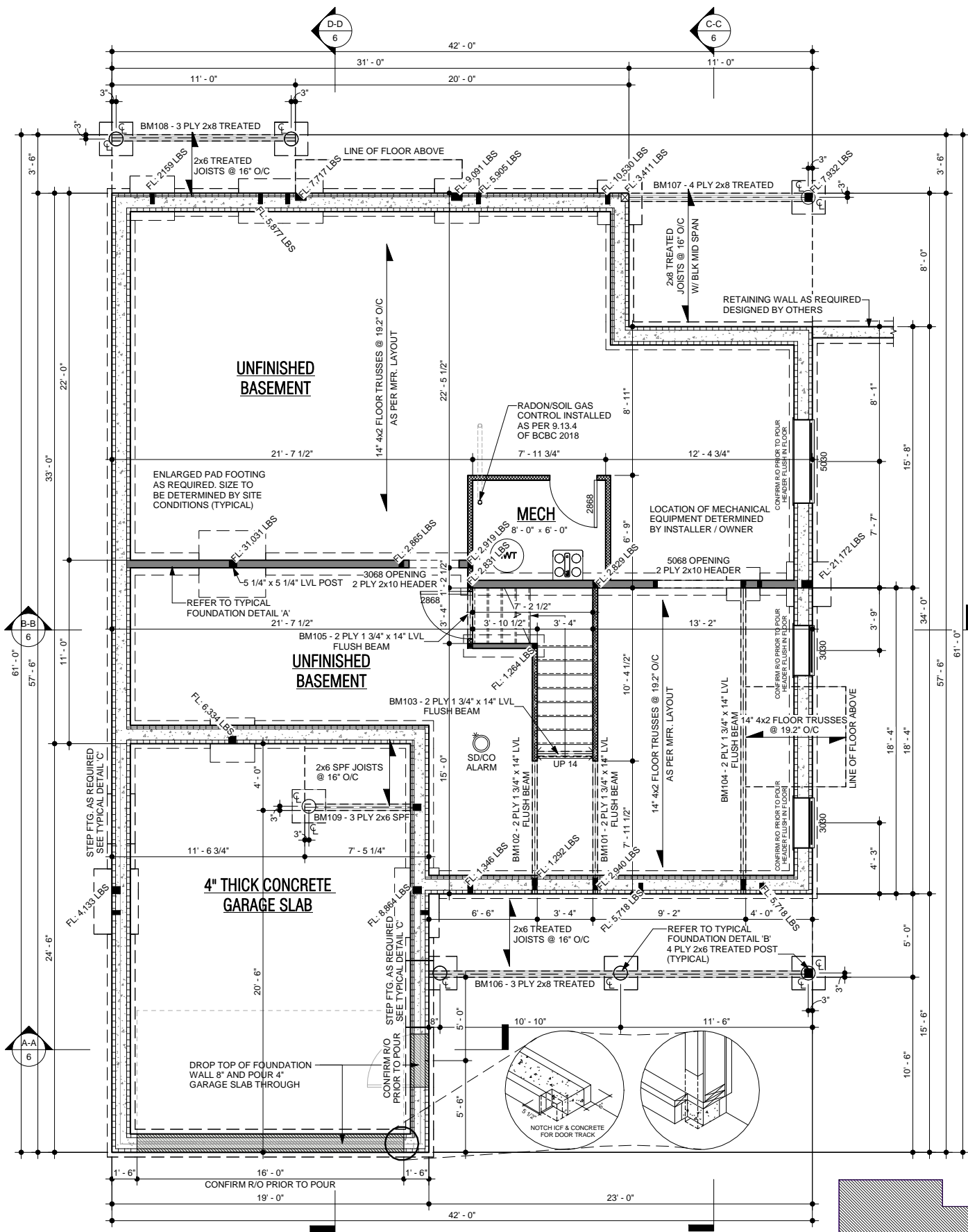
02/06/24

COMM NUMBER:

DRF-23-071

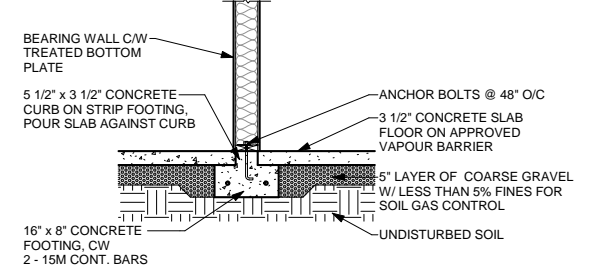
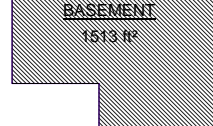
SUPERSEDES ALL  
PREVIOUS REVISIONS

WORK ORDER NUMBER:

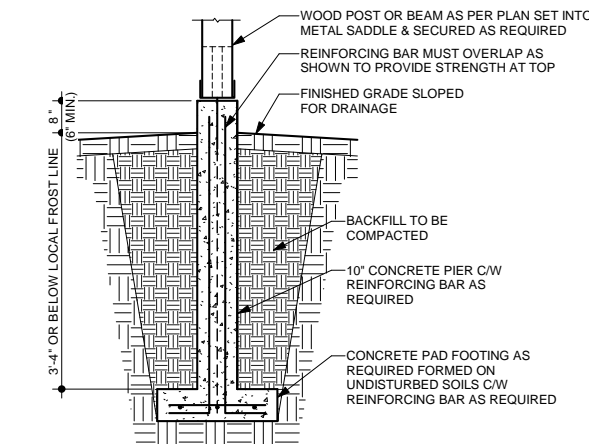


**BASEMENT / FOUNDATION PLAN**  
1/4" = 1'-0"

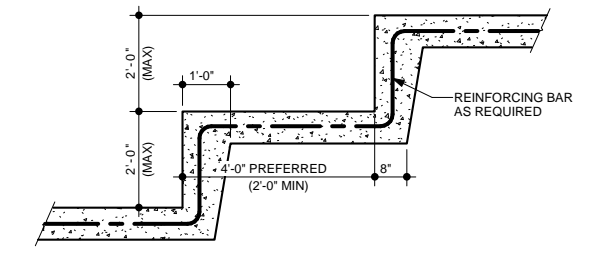
**\*\* NOTE: ICF FOUNDATION TO BE DESIGNED BY OTHERS AS PER MANUFACTURER'S / SUPPLIER'S SPECS, WALLS ARE CURRENTLY DRAWN AS 13 1/4" WIDE BY 8'-0" TALL \*\***



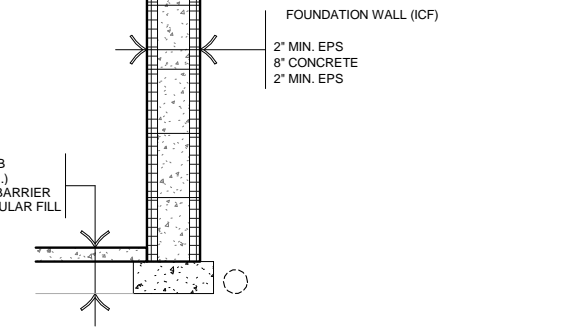
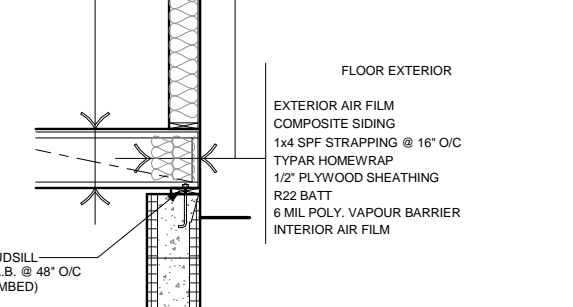
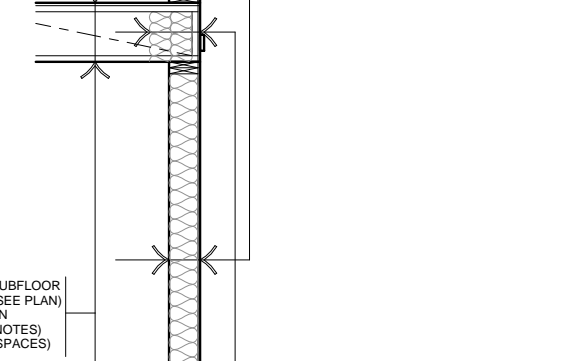
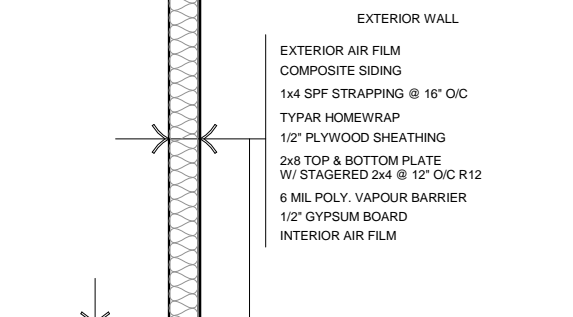
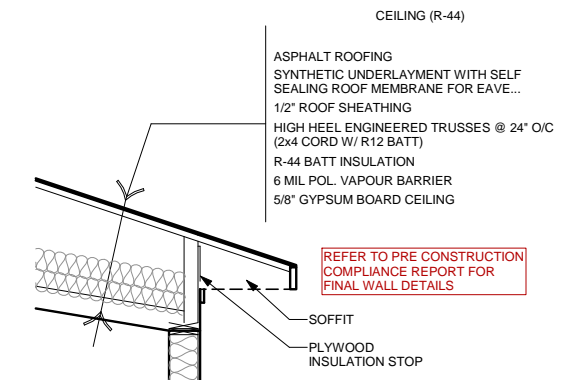
**(A) TYPICAL STRIP FOOTING**  
N.T.S.



**(B) TYPICAL 10\"/>**



**(C) TYPICAL STEPPED FOOTING**  
N.T.S.



**WALL SECTION & RSI CALC**  
1/2" = 1'-0"



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**FRAMING LEGEND**

[Symbol]	STANDARD HEIGHT LOAD BEARING WALLS
[Symbol]	NON STANDARD HEIGHT LOAD BEARING WALLS
[Symbol]	STANDARD HEIGHT PARTITION WALLS
[Symbol]	NON STANDARD HEIGHT PARTITION WALLS
[Symbol]	1 HR. FIRE RATED WALLS
[Symbol]	OVERHEAD STRUCTURAL MEMBER
[Symbol]	8" CONCRETE WALL ON CONCRETE FOOTING
[Symbol]	ICF FOUNDATION WALL ON CONCRETE FOOTING
[Symbol]	STRUCTURAL COLUMN
[Symbol]	BEAM POCKET
[Symbol]	STEEL TELEPOST

**FINAL PLAN COPY**  
FOR PERMITS & CONSTRUCTION

CUSTOMER:  
**PUNNETT MALLETT RESIDENCE**

DRAWING TITLE:  
**BASEMENT / FOUNDATION PLAN**

SITE ADDRESS:  
**LOT A, BLOCK 6  
SEAL COVE CIRCLE,  
PRINCE RUPERT, BC**

DRAWN BY: <b>JH</b>	SHEET: <b>4 OF 6</b>
SCALE: <b>As indicated</b>	REVISION NO.:
DATE: <b>02/06/24</b>	<b>5</b>
COMM NUMBER: <b>DRF-23-071</b>	SUPERSEDES ALL PREVIOUS REVISIONS
WORK ORDER NUMBER:	

**FRAMING LEGEND**

- STANDARD HEIGHT LOAD BEARING WALLS
- NON STANDARD HEIGHT LOAD BEARING WALLS
- STANDARD HEIGHT PARTITION WALLS
- NON STANDARD HEIGHT PARTITION WALLS
- 1 HR. FIRE RATED WALLS
- OVERHEAD STRUCTURAL MEMBER
- 8" CONCRETE WALL ON CONCRETE FOOTING
- ICF FOUNDATION WALL ON CONCRETE FOOTING
- STRUCTURAL COLUMN
- BEAM POCKET
- STEEL TELEPOST

FINAL PLAN COPY  
FOR PERMITS & CONSTRUCTION

CUSTOMER:

**PUNNETT  
MALLET  
RESIDENCE**

DRAWING TITLE:

**MAIN & SECOND  
FLOOR PLAN**

SITE ADDRESS:

LOT A, BLOCK 6  
SEAL COVE CIRCLE,  
PRINCE RUPERT, BC

DRAWN BY:

JH

SHEET:

5 OF 6

SCALE:

As indicated

REVISION NO.:

5

DATE:

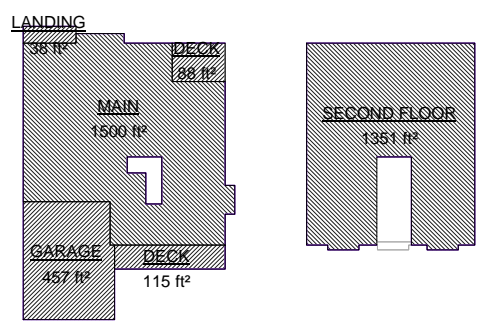
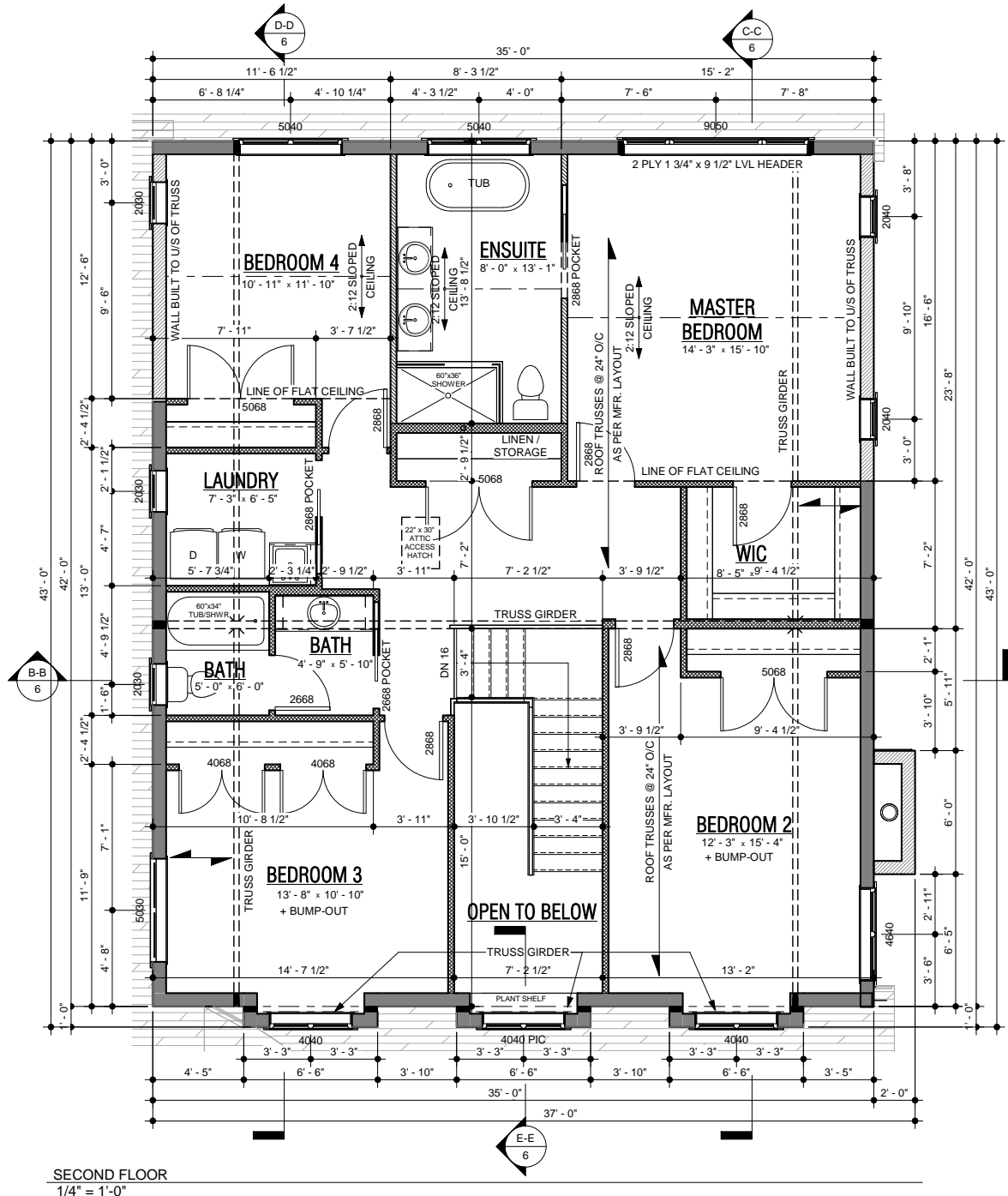
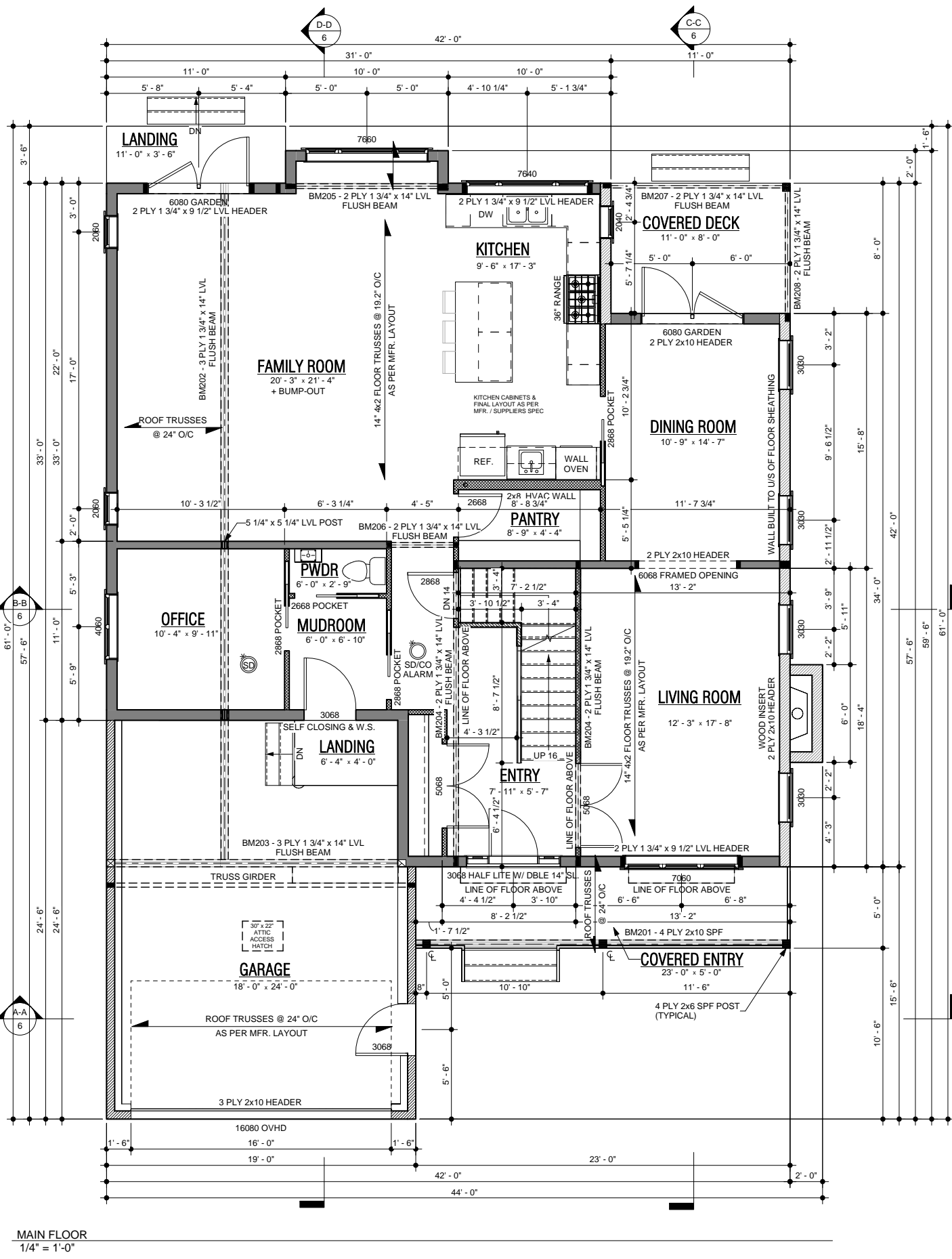
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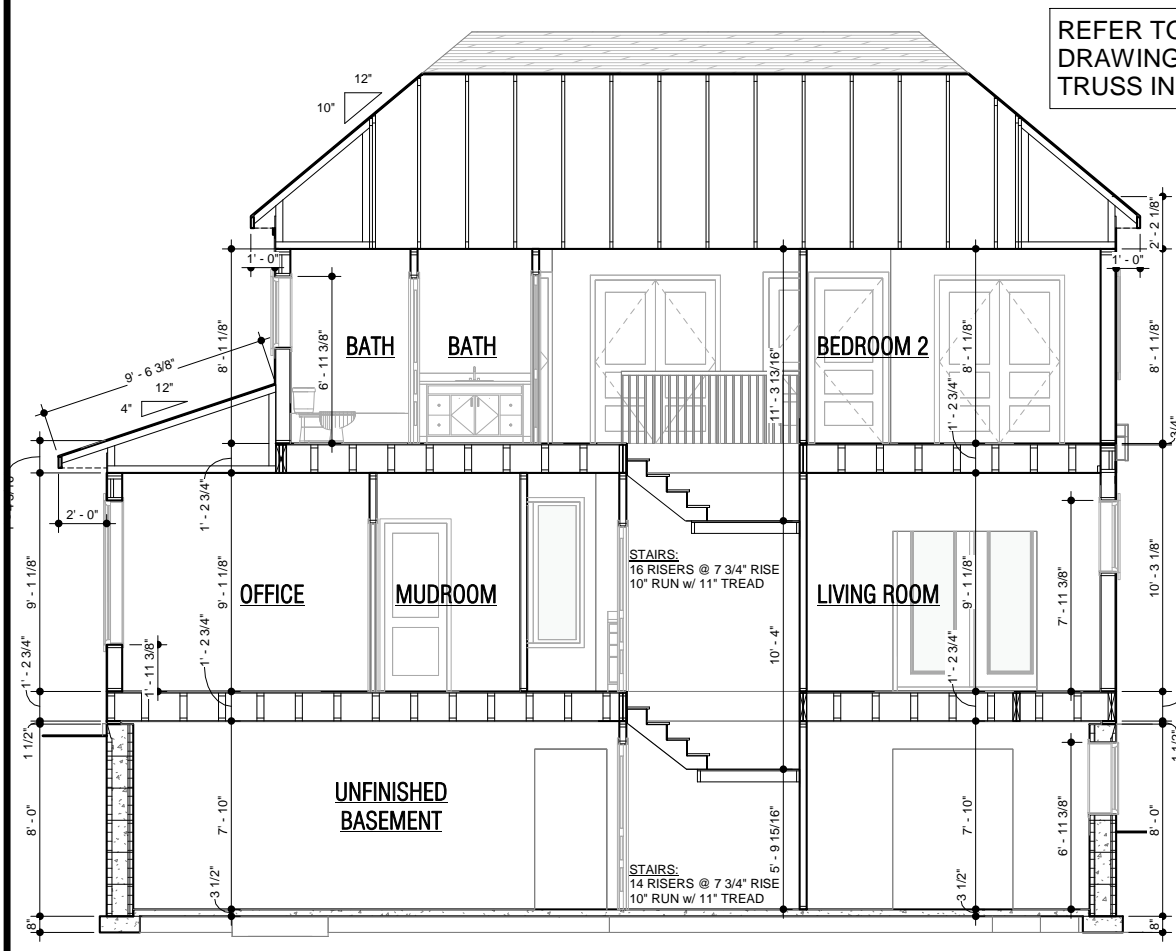
DRF-23-071

SUPERCESSES ALL  
PREVIOUS REVISIONS

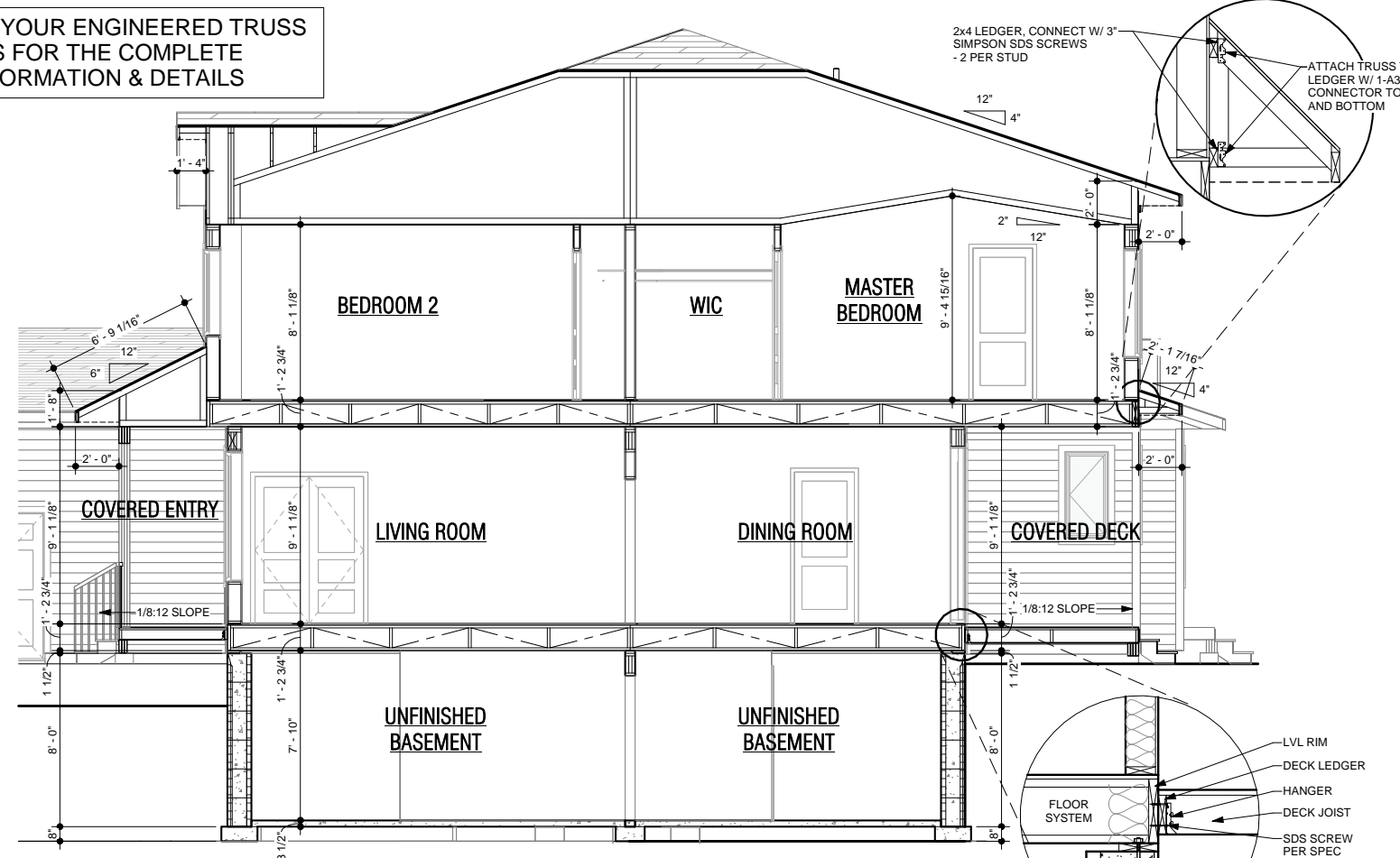
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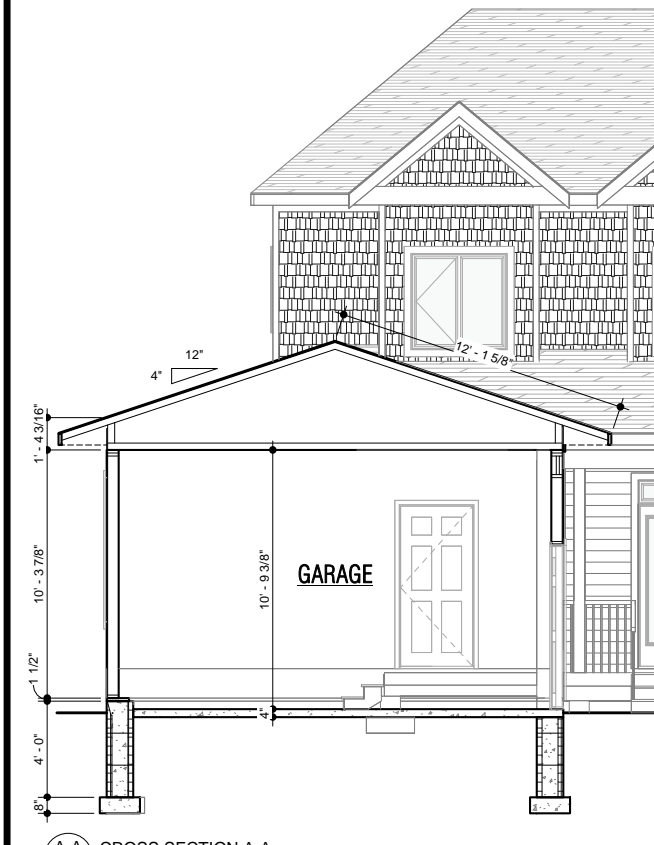
REFER TO YOUR ENGINEERED TRUSS DRAWINGS FOR THE COMPLETE TRUSS INFORMATION & DETAILS



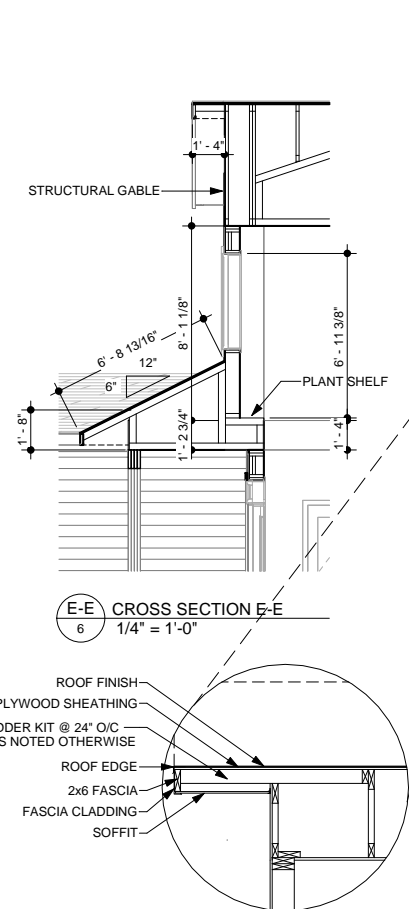
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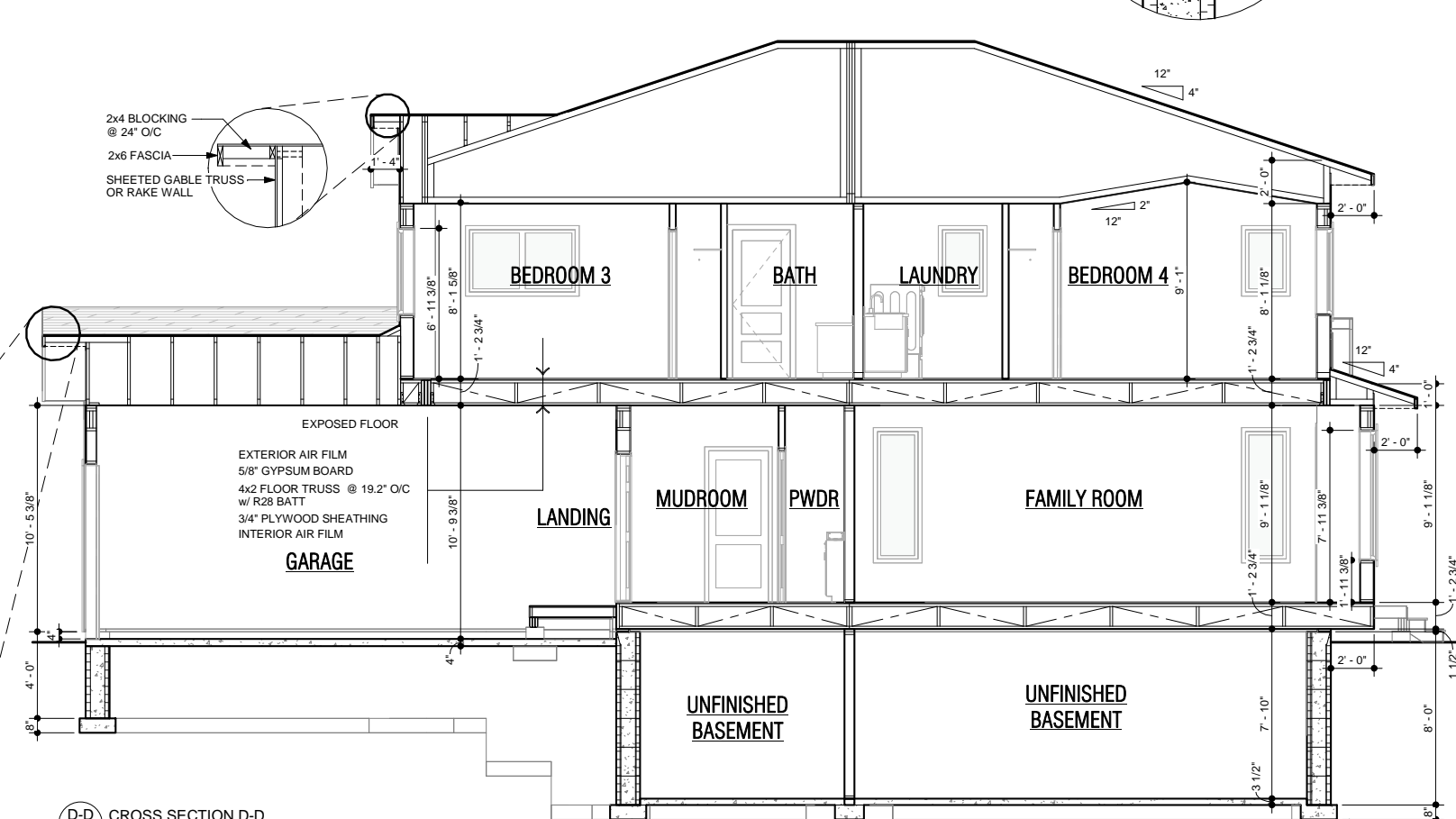
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1/4" = 1'-0"



**A-A** CROSS SECTION A-A  
1/4" = 1'-0"



**E-E** CROSS SECTION E-E  
1/4" = 1'-0"



**D-D** CROSS SECTION D-D  
1/4" = 1'-0"



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CUSTOMER: **PUNNETT MALLETT RESIDENCE**

DRAWING TITLE: **CROSS SECTIONS**

SITE ADDRESS: **LOT A, BLOCK 6 SEAL COVE CIRCLE, PRINCE RUPERT, BC**

DRAWN BY: <b>JH</b>	SHEET: <b>6 OF 6</b>
SCALE: <b>As indicated</b>	REVISION NO.:
DATE: <b>02/06/24</b>	<b>5</b>
COMM NUMBER: <b>DRF-23-071</b>	SUPERCEDES ALL PREVIOUS REVISIONS
WORK ORDER NUMBER:	

**From:** ROBERT PUNNETT <[rdpunnett@gmail.com](mailto:rdpunnett@gmail.com)>

**Sent:** Sunday, April 14, 2024 9:16 AM

**To:** planning <[planning@princerupert.ca](mailto:planning@princerupert.ca)>; Aaron Mallett <[aaron.mallett@gmail.com](mailto:aaron.mallett@gmail.com)>; Katherine Punnett <[punnettk@gmail.com](mailto:punnettk@gmail.com)>

**Subject:** Development Variance Permit Application No. DVP-24-01

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To City Planner, Myfannwy Pope:

Thank you for your notice of April 11, 2024. We received the notice as we own the adjacent property affected by the proposed variance (2055 Seal Cove Circle).

We are aware of the application as the applicant Arron Mallett is our son in law. He and our daughter Katherine Punnett are building next door on Lot A Block 6 Section 7 Range 5 Coast District Plan EPP120579 which we recently transferred to them for that purpose.

We write to confirm we support the variance requested.

Should you have any questions please contact us at: [rdpunnett@gmail.com](mailto:rdpunnett@gmail.com) or by phone 250 600 1289.

Yours truly,

Robert Punnett & Christine Mueller



## **REPORT TO COUNCIL**

### Regular Meeting of Council

**DATE:** April 22, 2024  
**TO:** Robert Buchan, City Manager  
**FROM:** Corinne Bomben, Chief Financial Officer

**SUBJECT: HALL SOCIETY, ILWU LOCAL 505 REVITALIZATION TAX EXEMPTION AGREEMENT**

---

#### **RECOMMENDATION:**

**THAT Council authorize a municipal property tax exemption for ten years for Hall Society, ILWU Local 505 and direct staff to enter into a Downtown Core Area Revitalization Tax Exemption Agreement.**

#### **REASON FOR REPORT:**

Council passed Bylaw No. 3466, 2020 that seeks to incentivize development in the downtown core by way of a municipal property tax exemption for eligible properties. As part of that bylaw, Council must authorize the exemption after determining whether the applicant meets the requirements set out in the aforementioned bylaw.

#### **BACKGROUND:**

To encourage revitalization of the downtown core, Council passed the Downtown Core Revitalization Tax Exemption Program Bylaw No. 3466, 2020. The program includes the exemption of municipal property taxes for eligible improvements within a prescribed zone. The exemption is provided to new developments and redevelopments, with new developments having a full to partial exemption over ten years and redevelopments having a full exemption for five years.

#### **ANALYSIS:**

Staff have received the applicant's application and have determined it meets the eligibility requirements stipulated in the bylaw with respect to new development. (Copy of application attached)

April 22, 2024

Page 2

**COST:**

There is no cost associated with authorizing this exemption, save the opportunity cost foregone from the exemption of municipal taxes for ten years on the non-market change.

**LINK TO STRATEGIC PLAN:**

This report aligns with Council's strategic goal to encourage and support community renewal.

**CONCLUSION:**

Council has established the revitalization tax exemption bylaw to incentivize development in the downtown core. The applicant meets the criteria identified in the bylaw therefore it is staff's recommendation to approve the application and enter into the Downtown Core Area Revitalization Tax Exemption Agreement

**Report Prepared By:**

**Report Reviewed By:**

\_\_\_\_\_  
Corinne Bomben  
Chief Financial Officer

\_\_\_\_\_  
Robert Buchan,  
City Manager

Originally signed available on request

Attachment: Application for Downtown Core Area Tax Exemption



**Administration**  
 424 3<sup>rd</sup> Avenue West  
 Prince Rupert, BC, V8J 1L7  
 Phone: (250) 627 0934 Fax: (250) 627 0999  
 Email: [cityhall@princerupert.ca](mailto:cityhall@princerupert.ca)

**Application for Downtown Core Area Tax Exemption**

Date: December 4th, 2022

Name: Hall Society, I.L.W.U. local 505

Address: 847-855 1st Ave West

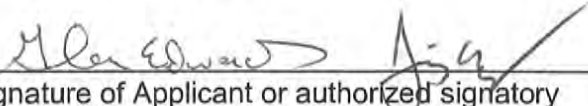
Email Address: \_\_\_\_\_

Legal Description: Lot 3&4, Blk 10, Sec 1, DL 1992 Range 5 Plan 923

Roll Number: 014-785-561& 014-785-587

I hereby certify that:

- a) I am the registered owner of the property identified within the boundaries set out in **Schedule A of Bylaw 3466**;
- b) I intend to:
  - i. construct a new multi-family, commercial, or light industrial building in the revitalization tax exemption area within the boundaries set out in **Schedule A** of Bylaw 3466; or
  - ii. redevelop an existing multi-family, commercial, or light industrial building in the Revitalization tax exemption area within the boundaries set out in **Schedule A** of Bylaw 3466, and have received all of the necessary authorizations, including a building permit, for that redevelopment work;
- c) I fully acknowledge that the grant of the revitalization tax exemption is subject to all of the conditions and requirement of Bylaw 3466, including but not limited to the terms and conditions of the **Revitalization Tax Exemption Agreement (see Attachment A)** and **Revitalization Tax Exemption Certificate (see Attachment B)**;
- d) I have attached to this application:
  - i. True copies of the architectural plans created by a registered professional for the proposed building/development work;
  - ii. A true copy of the building permit for the proposed building/redevelopment work.

  
 Signature of Applicant or authorized signatory

12/02/22  
 Date



VIEW 1



VIEW 2



VIEW 3

REVISIONS:

- 5 2022-01-31 ISSUED FOR TENDER
- 4 2021-11-29 ISSUED FOR PRE-TENDER REVIEW
- 3 2021-11-23 ISSUED FOR REVIEW

ISSUES:

COPYRIGHT RESERVED:  
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DIMENSIONS:  
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND IMMEDIATELY REPORT ANY ERRORS AND/OR OMISSIONS. DO NOT SCALE DRAWINGS.

**BONI • MADDISON**  
**Architects**

3732 West Broadway  
Vancouver, B.C., V6R 2C1  
T: 604 688 5894  
F: 604 688 5899  
E: info@bonimaddison.com

PROJECT:  
**UNION HALL**  
847 - 855 1st Ave. West  
PRINCE RUPERT, BC

TITLE:  
**CONCEPT RENDERINGS**

DRAWN:	CM/TD	DRAWING N°:	<b>A6.0</b>
SCALE:			
JOB N°:	16-27		
DATE:	2022-01-31	REV. N°:	



## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 333 – 3<sup>rd</sup> Avenue West: Remedial Action Order (Lot 26 Block 34 Section 1 District Lot 251 Range 5 Coast District Plan 923 Except Amended Lot 25 (SEE F4155) (PID:005-705-622) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 333 – 3<sup>rd</sup> Avenue West, legally known as: Lot 26 Block 34 Section 1 District Lot 251 Range 5 Coast District Plan 923 Except Amended Lot 25 (SEE F4155) (PID:005-705-622) (the “Property”) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail and delivered and signed for on March 21, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

### Report Prepared By:

\_\_\_\_\_  
Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

\_\_\_\_\_  
Dr. Robert Buchan,  
City Manager

Originally signed available on request





## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 337 – 3<sup>rd</sup> Avenue West: Remedial Action Order (Amended Lot 25 (SEE F4155) Block 34 Section 1 District Lot 251 Range 5 Coast District Plan 923 (PID: 010-691-383) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 337 – 3<sup>rd</sup> Avenue West, legally known as: Amended Lot 25 (SEE F4155) Block 34 Section 1 District Lot 251 Range 5 Coast District Plan 923 (PID: 010-691-383), (the “Property”), with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail and delivered and signed for on March 28, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

### Report Prepared By:

\_\_\_\_\_  
Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

\_\_\_\_\_  
Dr. Robert Buchan,  
City Manager

Originally signed available on request





## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 240 – 6<sup>th</sup> Avenue West: Remedial Action Order (Parcel A (See D.F. 17721) Block 9 Section 5 District Lot 251 Range 5 Coast District Plan 923 (PID:014-688-042) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with the clean-up of the property located at 240 – 6<sup>th</sup> Avenue West, legally known as: Parcel A (See D.F. 17721) Block 9 Section 5 District Lot 251 Range 5 Coast District Plan 923 (PID:014-688-042) (the “Property”) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail and delivered and signed for on March 21, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

### Report Prepared By:

\_\_\_\_\_  
Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

\_\_\_\_\_  
Dr. Robert Buchan,  
City Manager

Originally signed available on request









## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 200 – 3<sup>rd</sup> Avenue West: Remedial Action Order (Lot 13 and 14 Block 19 Section 1 District Lot 251 Range 5 Coast District Plan 923 (PID: 014-772-078 / 014-772-086) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with clean-up of the property located at 200 – 3<sup>rd</sup> Avenue West, legally known as: (Lot 13 and 14 Block 19 Section 1 District Lot 251 Range 5 Coast District Plan 923 (PID: 014-772-078 / 014-772-086) (the “Property”)) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail. The letter was returned to the City as undeliverable on April 9, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

### Report Prepared By:

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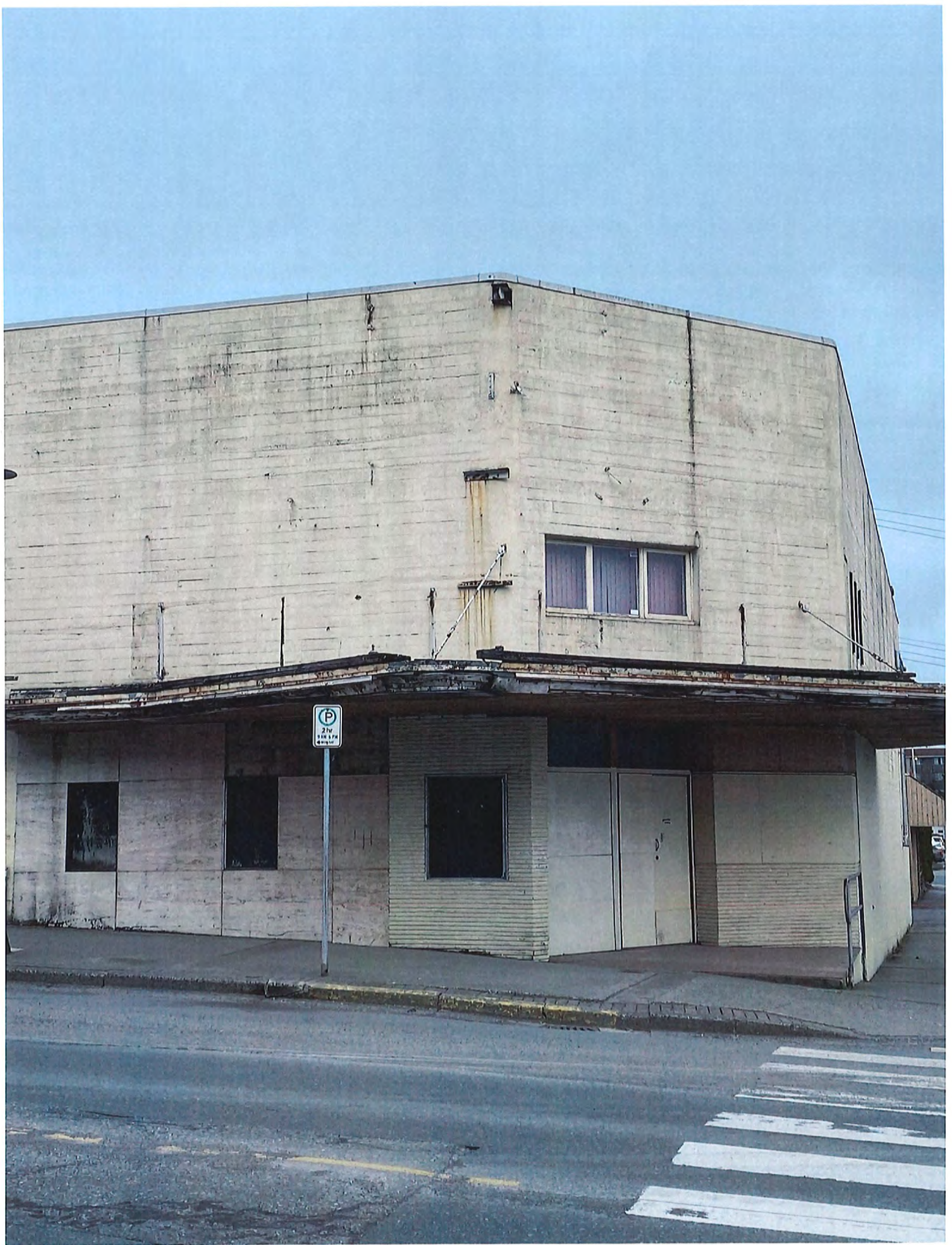
Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

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Dr. Robert Buchan,  
City Manager

Originally signed available on request



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9:00-18:00

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## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 711 – 5<sup>th</sup> Avenue East: Remedial Action Order (Lot 25 Block 7 Section 6 District Lot 251 Range 5 Coast District Plan 923 (PID:014-558-513) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with clean-up of the property located at 711 – 5<sup>th</sup> Avenue East, legally known as: (Lot 25 Block 7 Section 6 District Lot 251 Range 5 Coast District Plan 923 (PID:014-558-513) (the “Property”)) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail and delivered and signed for on April 12, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

### Report Prepared By:

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Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

---

Dr. Robert Buchan,  
City Manager

Originally signed available on request







## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 728 Lotbiniere Street: Remedial Action Order (The South ½ of Lot 6 and 7 Block 24 Section 5 District Lot 251 Range 5 Coast District Plan 923 (PID:012-788-686 / 012-788-708) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with clean-up of the property located at 728 Lotbiniere Street, legally known as: The South ½ of Lot 6 and 7 Block 24 Section 5 District Lot 251 Range 5 Coast District Plan 923 (PID:012-788-686 / 012-788-708) (the “Property”) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail. The letter was sent by registered mail and delivered and signed for on April 3, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

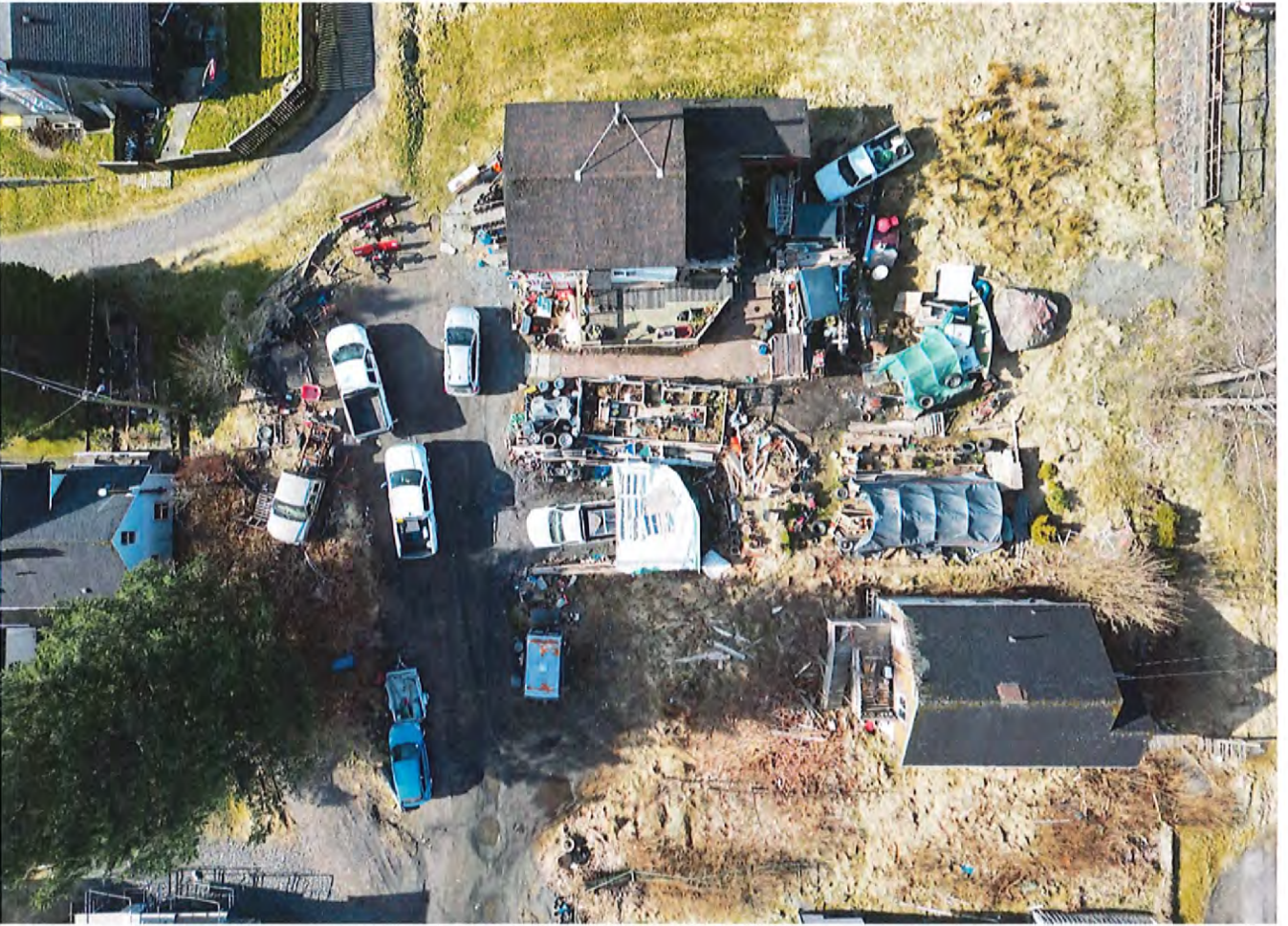
### Report Prepared By:

\_\_\_\_\_  
Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

### Report Reviewed By:

\_\_\_\_\_  
Dr. Robert Buchan,  
City Manager

Originally signed available on request











## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 1040 – 2<sup>nd</sup> Avenue West: Remedial Action Order (Lot 25 Block 8 Section 1 District Lot 1992 Range 5 Coast District Plan 923 (PID:014-786-338) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with clean-up of the property located at 1040 – 2<sup>nd</sup> Avenue West, legally known as: Lot 25 Block 8 Section 1 District Lot 1992 Range 5 Coast District Plan 923 (PID:014-786-338) (the “Property”) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail. The letter was returned to the City as undeliverable on March 25, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

**Report Prepared By:**

**Report Reviewed By:**

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Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

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Dr. Robert Buchan,  
City Manager

Originally signed available on request







## REPORT TO COUNCIL

**DATE:** April 22, 2024  
**TO:** Mayor & Council  
**FROM:** Rosa Miller, Director of Corporate & Legislative Services/Corporate Officer  
**SUBJECT:** 1614 Sloan Avenue: Remedial Action Order ( Lot 94 District Lot 1992 Range 5 Coast District Plan 5478 (PID: 010-453-989) (the “Property”))

---

### RECOMMENDATION:

**THAT Council direct staff to proceed with a Remedial Action Order under Section 74 of the *Community Charter* whereby the City of Prince Rupert will proceed with clean-up of the property located at 1614 Sloan Avenue, legally known as: Lot 94 District Lot 1992 Range 5 Coast District Plan 5478 (PID: 010-453-989) (the “Property”) with the costs of removal placed on the property taxes for the said Property;**

**AND THAT Council direct staff to provide notice to the Property owner in accordance with Section 77 of the *Community Charter*;**

**AND THAT Council agree that reconsideration of these orders may be made, in writing, within 14 days of the notice provided under Section 77 of the *Community Charter*;**

**AND THAT if no reconsideration notices are received within 14 days of the notice provided Staff are directed to proceed with the Remedial Action Orders immediately as requested.**

### REASON FOR REPORT:

On March 20, 2024, a letter was issued to the owner(s) of the Property. The letter was sent by registered mail. The letter was returned to the City as undeliverable on April 15, 2024.

The letter advised that due to the condition of the property, contact with the Bylaw Department by April 2, 2024, to discuss a clean-up plan for the property, including timelines. As of the deadline noted in the letter, no communication has been received.

### COST:

The cost for removal of debris and garbage will be borne by the Property owner and placed on the Property taxes should payment remain outstanding at year-end.

**Report Prepared By:**

**Report Reviewed By:**

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Rosa Miller,  
Director of Corporate & Legislative Services /  
Corporate Officer

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Dr. Robert Buchan,  
City Manager

Originally signed available on request







